



NEW MEDINA COUNTY TAX OFFICES 1502 AVENUE M HONDO, TEXAS 78861



BUILDING CODE REVIEW

BUILDING CODES: 2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL PLUMBING CODE
2015 INTERNATIONAL FIRE CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE
2017 NATIONAL ELECTRIC CODE

USE & OCCUPANCY CLASSIFICATION: BUSINESS GROUP B (GROUP B CIVIC ADMINISTRATION (1 OCCUPANT))

SPECIAL REQUIREMENTS: NONE

HEIGHTS & AREAS: EXISTING CONSTRUCTION IS TYPE IIB
MAX. ALLOWABLE HEIGHT = 55 FT
MAX. NUMBER OF STORIES = 3
MAX. BUILDING AREA = 23,000 SF

TYPES OF CONSTRUCTION: EXISTING CONSTRUCTION IS TYPE IIB
RATING OF BUILDING ELEMENTS:
STRUCTURAL FRAME 0 HRS
NON-BEARING WALLS - EXTERIOR 0 HRS
NON-BEARING WALLS - INTERIOR 0 HRS
FLOOR 0 HRS
ROOF 0 HRS
FIRE RESISTANCE RATING OF EXT. WALLS X = 10 TO 50 FT. 0 HR.

INTERIOR FINISHES: GROUP B AND NON-SPRINKLERED EXIT PASSAGEWAYS CLASS A CLASS B CLASS C

MEANS OF EGRESS: OCCUPANT LOAD TABLE 1004.1.2
MIN. EGRESS WIDTH = 95 OCCUPANTS
95 X 0.2/OCCUPANT = 19'
2 EXITS ARE REQUIRED
EXIT ACCESS TRAVEL DISTANCE = 200'
CORRIDOR FIRE RESISTANCE RATING = 1 HR. TABLE 1020.1
MINIMUM CORRIDOR WIDTH = 44' TABLE 1020.2

PROJECT DATA

PROJECT DESCRIPTION: THIS IS AN EXISTING 9,420 SQ. FT. ONE STORY BUILDING, FORMERLY A BANK. IT IS NOT SPRINKLERED AND IS OF NON-COMBUSTIBLE CONSTRUCTION.

LEGAL DESCRIPTION: LOTS 6-10, BLOCK 3 OF THE ORIGINAL TOWN OF HONDO, MEDINA COUNTY, TEXAS.

INDEX OF DRAWINGS

CV COVER SHEET	ELECTRICAL/PLUMBING:
ARCHITECTURAL:	E1.0 LIGHTING PLAN AND NOTES
A1 EXISTING AND REVISED SITE PLANS	E2.0 POWER PLAN AND NOTES
A2 DEMOLITION & REVISED FLOOR PLANS	E3.0 DETAILS
A3 SITE DETAILS	E4.0 SPECIALTIES
A4 REFLECTED CEILING PLAN & DETAILS	E4.10 SEWER AND WATER PLAN
A5 DETAILS AND SCHEDULES	P2.0 SCHEDULES AND DETAILS
A6 BLOW-UP PLANS AND ELEVATIONS	P3.0 SPECIFICATIONS
A7 BLOW-UP PLANS AND ELEVATIONS	
A8 BLOW-UP PLANS AND ELEVATIONS	

TEAM MEMBERS

OWNER: MEDINA COUNTY 1300 AVENUE M, ROOM 250 HONDO, TEXAS 78861	TELEPHONE: (830) 741-6020 jodlong@medindtx.org
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TAS REVIEW: EDWARD RODRIGUEZ, PWS 1218 7500 WINDY HILL DR BOERNE, TEXAS 78015	TAS REVIEW: EDWARD RODRIGUEZ TEL: (830) 741-6020 eesr19344@gmail.com

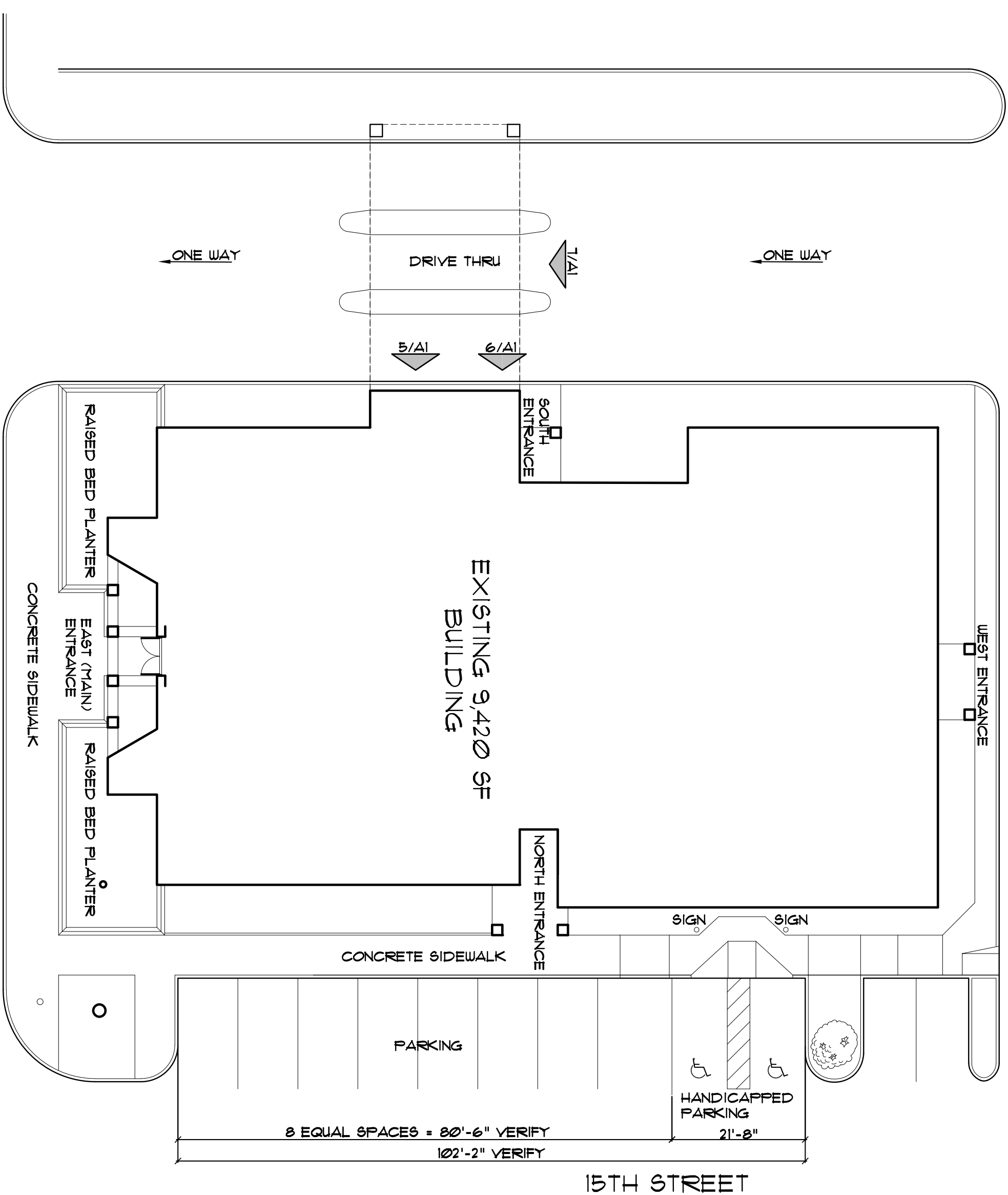
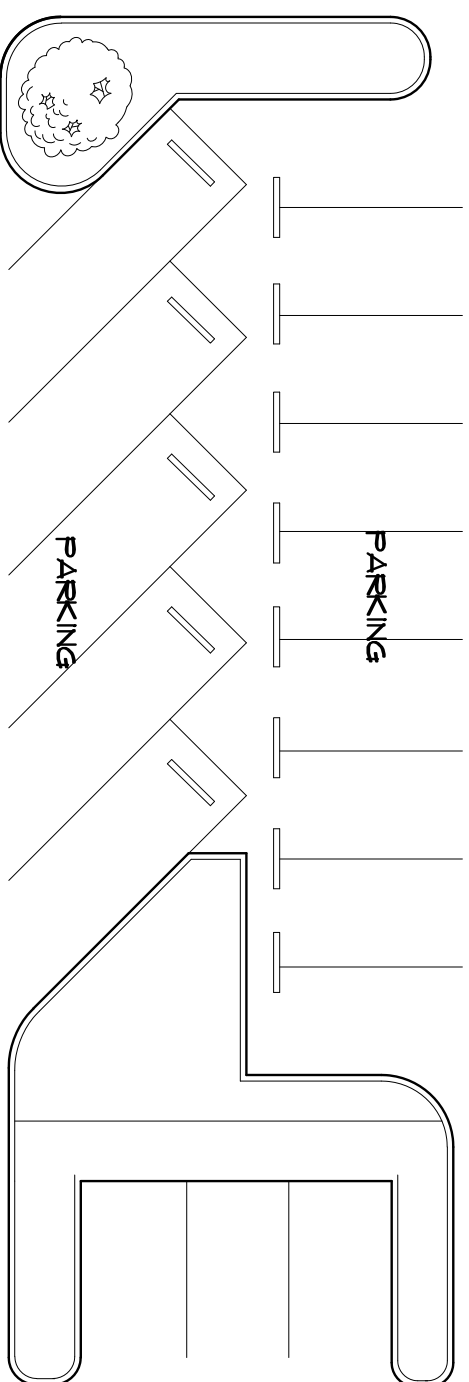
EXISTING BUILDING PHOTOGRAPH



AREA MAP



ALLEY WAY



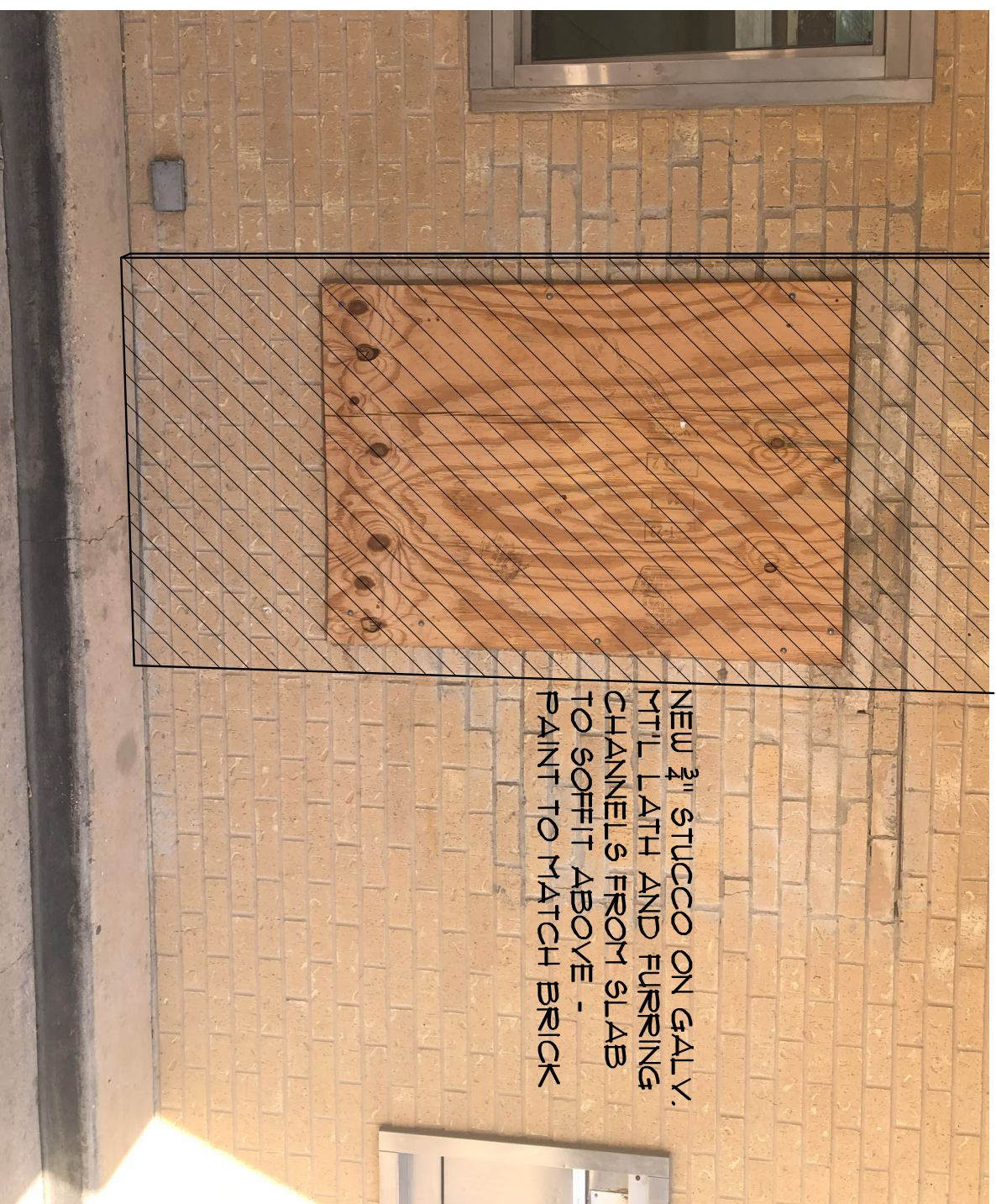
1 EXISTING SITE PLAN
SCALE: 1/16" = 1'-0"
NORTH



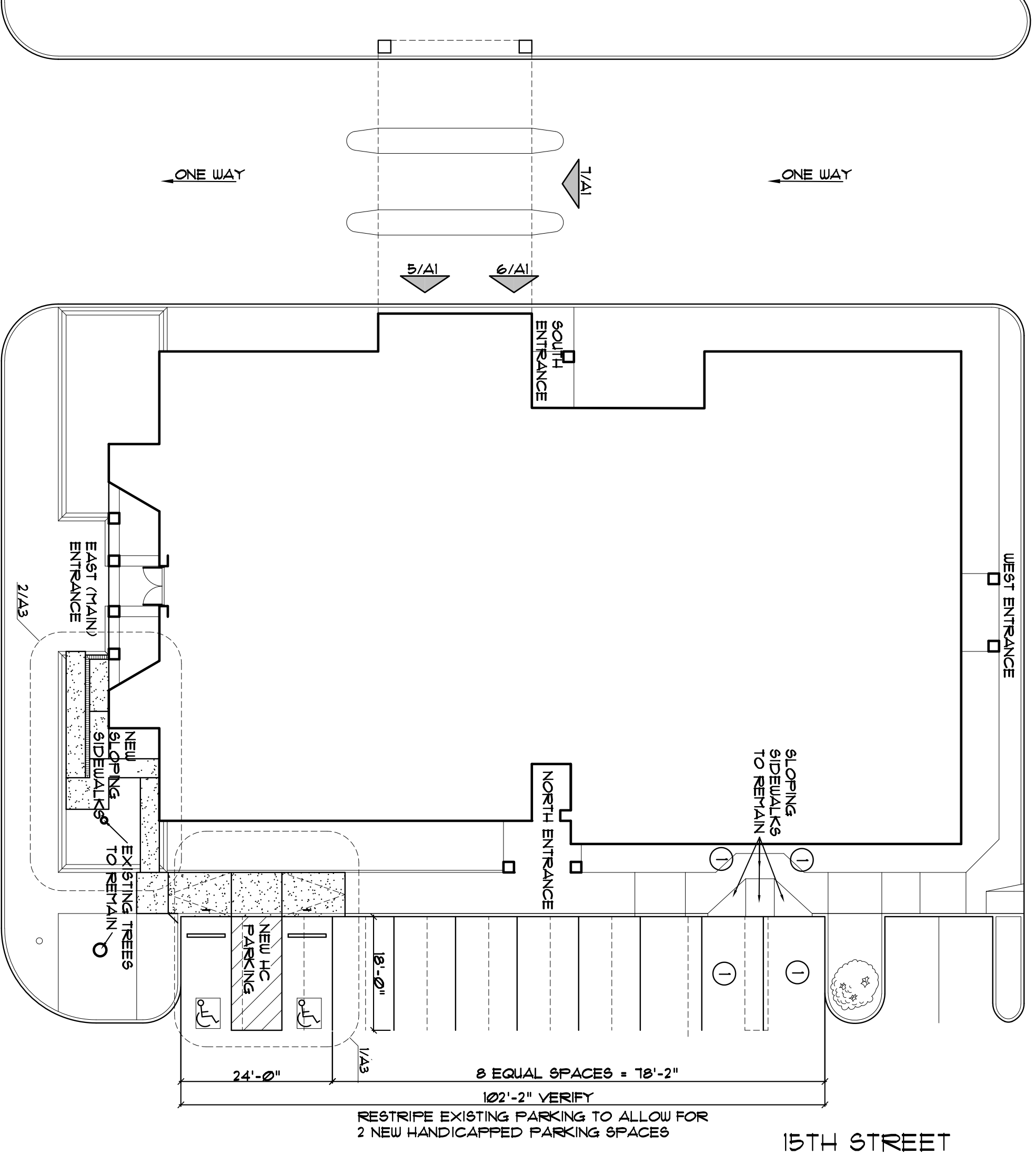
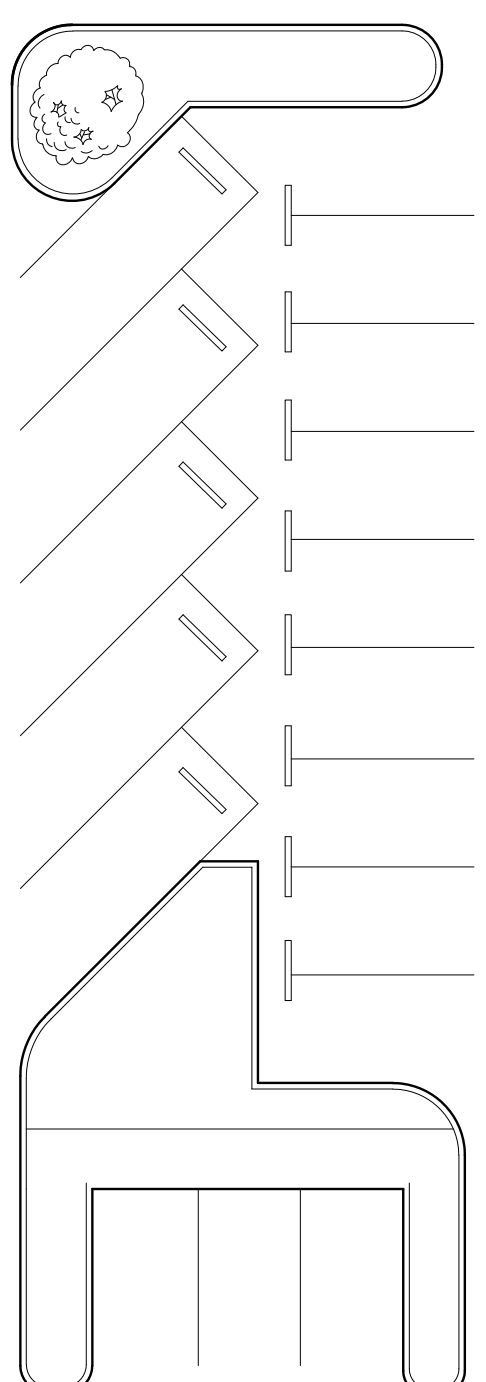
3 SITE PHOTOGRAPH #3
SCALE: NONE



2 SITE PHOTOGRAPH #2
SCALE: NONE



1 SITE PHOTOGRAPH #1
SCALE: NONE



2 REVISED SITE PLAN
SCALE: 1/16" = 1'-0"
NORTH

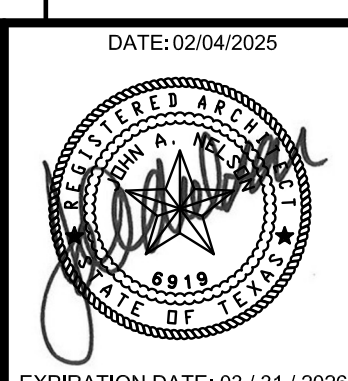
- 8 REFERENCED SITE NOTES
- REMOVE ALL SIGNS, STRIPING, SYMBOLS, ETC. THAT INDICATE THESE ARE HANDICAPPED ACCESSIBLE PARKING SPACES. THEY ARE NOW REGULAR PARKING SPACES. RESTRIPE AS SHOWN.
 - VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO START OF ANY WORK.
 - ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE LATEST EDITIONS OF LOCAL, STATE AND NATIONAL CODES (CURRENT ACCEPTED EDITION).
 - ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE LATEST EDITIONS OF LOCAL, STATE AND NATIONAL CODES (CURRENT ACCEPTED EDITION).

4 SYMBOLS LEGEND
SCALE: NONE

3 GENERAL NOTES
SCALE: NONE

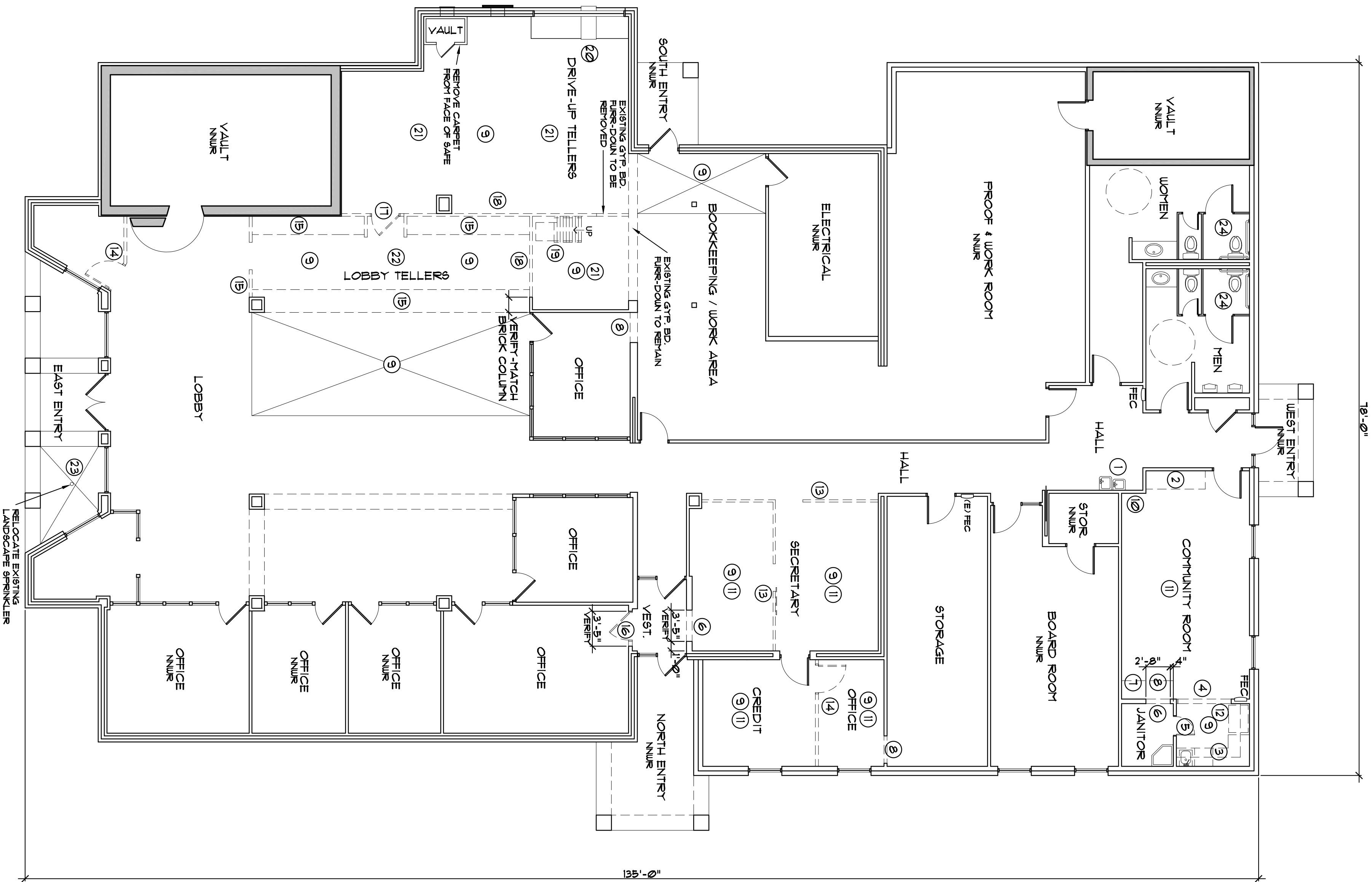
EXISTING & REVISED SITE PLANS		
SHEET HISTORY		
MARK	DATE	DESCRIPTION
1	10/21/24	PRELIMINARY DESIGN
2	11/12/24	50% COMPLETE SET
3	02/04/25	FOR CONSTRUCTION

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1502 AVENUE M HONDO, TEXAS 78861



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A1



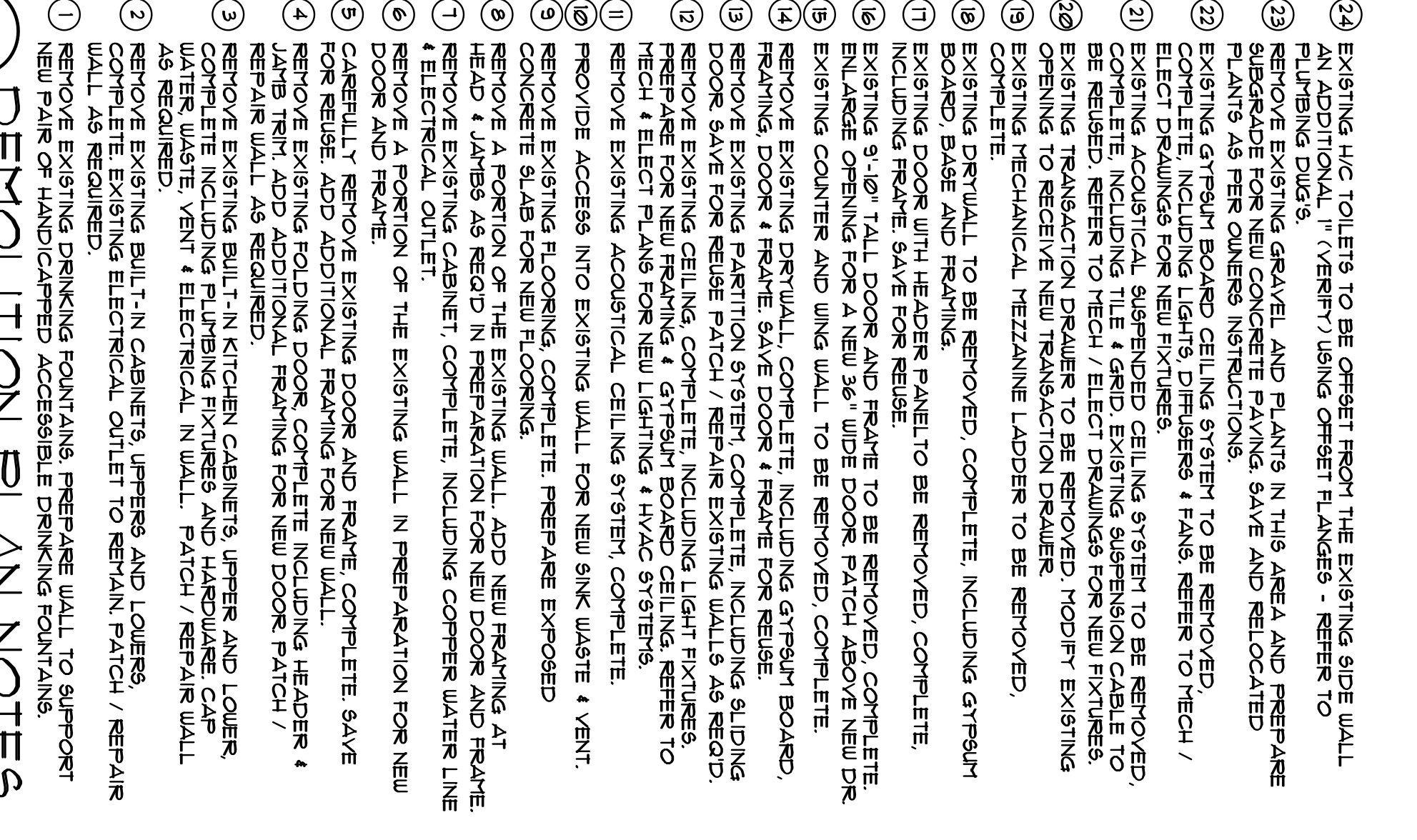
1 DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"

- 1 REFER TO NOTE #1 OF DEMOLITION NOTES, DETAIL 4 THIS SHEET
- 2 REFER TO ELEVATION 3 ON SHEET AS
- 3 REFER TO SECTION 3 ON SHEET AS
- 4 REFER TO SECTION 3 ON SHEET AS
- 5 REFER TO SECTION 3 ON SHEET AS
- 6 REFER TO SECTION 3 ON SHEET AS
- 7 REFER TO SECTION 3 ON SHEET AS
- 8 REFER TO SECTION 3 ON SHEET AS
- 9 REFER TO SECTION 3 ON SHEET AS
- 10 REFER TO SECTION 3 ON SHEET AS
- 11 REFER TO SECTION 3 ON SHEET AS
- 12 REFER TO SECTION 3 ON SHEET AS
- 13 REFER TO SECTION 3 ON SHEET AS
- 14 REFER TO SECTION 3 ON SHEET AS

1A DEMOLITION PLAN SYMBOLS LEGEND
SCALE: NONE

5 REVISED PLAN NOTES
SCALE: NONE

- 1 EXISTING LOWER CORNER WINDOW PANE TO REMAIN AND BE COVERED WITH NEW GYP. BD. AND SOUND INSULATION. REFER TO DETAILS 5 & 6, SHEET 2A.
- 2 REMOVE EXISTING ABANDONED GANGED J-BOXES AND CUT BRICK SILL-IN REBUILT IN BRICK WALL WITH EXISTING BRICK.
- 3 NEW HANDICAP ACCESSIBLE WALL MOUNTED DRINKING FOUNTAINS. REFER TO THE DRAWINGS FOR SPECIFICATIONS.
- 4 IN THE MEN'S RESTROOM, LOWER ONE OF THE EXISTING URINALS TO ADA HEIGHT. REFER TO THE MEP DRAWINGS FOR ADDITIONAL REQUIREMENTS. PATCH, REPAIR, PRIME, TEXTURE AND PAINT THE ENTIRE URINAL WALL - COLOR AS SELECTED BY OWNER.
- 5 IN BOTH EXISTING HANDICAP ACCESSIBLE RESTROOMS, INSTALL HIC TOILET WASTE OFFSETS 90 AS TO BRING HIC TOILETS WITHIN THE REQUIRED ADA DISTANCE OF 16" TO 18" FROM TOILET CENTRAL LINE TO ADJACENT SIDEWALL. REFER TO THE DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- 6 IN ROOMS THAT RECEIVE NEW WALL FINISHES, SAVE EXISTING WALL SWITCHES TO ADA REQUIRED 48" AFF. REFER TO THE DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- 7 IN ROOMS THAT RECEIVE A NEW 2X2 LAY-IN ACOUSTICAL CEILING SYSTEM, EXTEND AND CONNECT EXISTING SUPPLY AND RETURN AIR DUCTWORK TO NEW DIFFUSERS / GRILLES. REFER TO THE DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- 8 PATCH / REPAIR FUR-DOWN WHERE EXISTING PARTITIONS WERE REMOVED. FINISH TO MATCH ADJACENT SURFACES.
- 9 NEW 4" THICK CONCRETE PAVING, FINISH TO MATCH ADJACENT PAVING. REINFORCE WITH #4S AT 18" O.C. PROVIDE 1/4" DOUELS INTO SURROUNDING PAVING AT 24" O.C. AS SHOWN.
- 10 PATCH / REPAIR WALL WHERE EXISTING WALL OR PARTITION WAS REMOVED. FINISH TO MATCH ADJACENT WALLS.
- 11 NEW GYP. BD. AND METAL STUD WALL. REFER TO DETAIL 8/A6. USE OAK BASE AT SECRETARY #1, LOBBY WALL AND VENT. BASE AT CONFERENCE #1 / HALL WALL, WORK AREA #1 & 2 AND TAX ACC. STORAGE NEW GYP. BD. AND METAL STUD WALL WITH OAK TRIM TO MATCH EXISTING. REFER TO DETAIL 7/A6.
- 12 EXISTING WINDOW WALL TO REMAIN AND BE COVERED WITH NEW GYP. BD. AND SOUND INSULATION. REFER TO DETAILS 5 & 6, SHEET 2A.



4 DEMOLITION PLAN NOTES
SCALE: NONE

- 1 ALL DIMENSIONS ARE TO FACE OF EXISTING STRUCTURE. FINISH TO FACE OF NEW CONCRETE OR EDGE OF CONCRETE PAVING UNLESS NOTED OTHERWISE.
- 2 VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO START OF ANY WORK.
- 3 ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL APPLICABLE STATE AND NATIONAL CODES (CONSENT ACCEPTED EDITION).

3 GENERAL NOTES
SCALE: NONE

2 REVISED FLOOR PLAN
SCALE: 1/8" = 1'-0"

- 1 REFER TO DOOR #1 ON DOOR SCHEDULE 8/A5
- 2 REFER TO NOTE #1 OF REVISED PLAN NOTES, DETAIL 5 THIS SHEET
- 3 REFER TO ELEVATION 3 ON SHEET AS
- 4 REFER TO SECTION 3 ON SHEET AS
- 5 REFER TO SECTION 3 ON SHEET AS
- 6 REFER TO SECTION 3 ON SHEET AS
- 7 REFER TO SECTION 3 ON SHEET AS
- 8 REFER TO SECTION 3 ON SHEET AS
- 9 REFER TO SECTION 3 ON SHEET AS
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- 15 REFER TO SECTION 3 ON SHEET AS
- 16 REFER TO SECTION 3 ON SHEET AS
- 17 REFER TO SECTION 3 ON SHEET AS
- 18 REFER TO SECTION 3 ON SHEET AS
- 19 REFER TO SECTION 3 ON SHEET AS
- 20 REFER TO SECTION 3 ON SHEET AS
- 21 REFER TO SECTION 3 ON SHEET AS
- 22 REFER TO SECTION 3 ON SHEET AS
- 23 REFER TO SECTION 3 ON SHEET AS
- 24 REFER TO SECTION 3 ON SHEET AS

2A REVISED PLAN SYMBOLS LEGEND
SCALE: NONE

DATE: 02/04/2025

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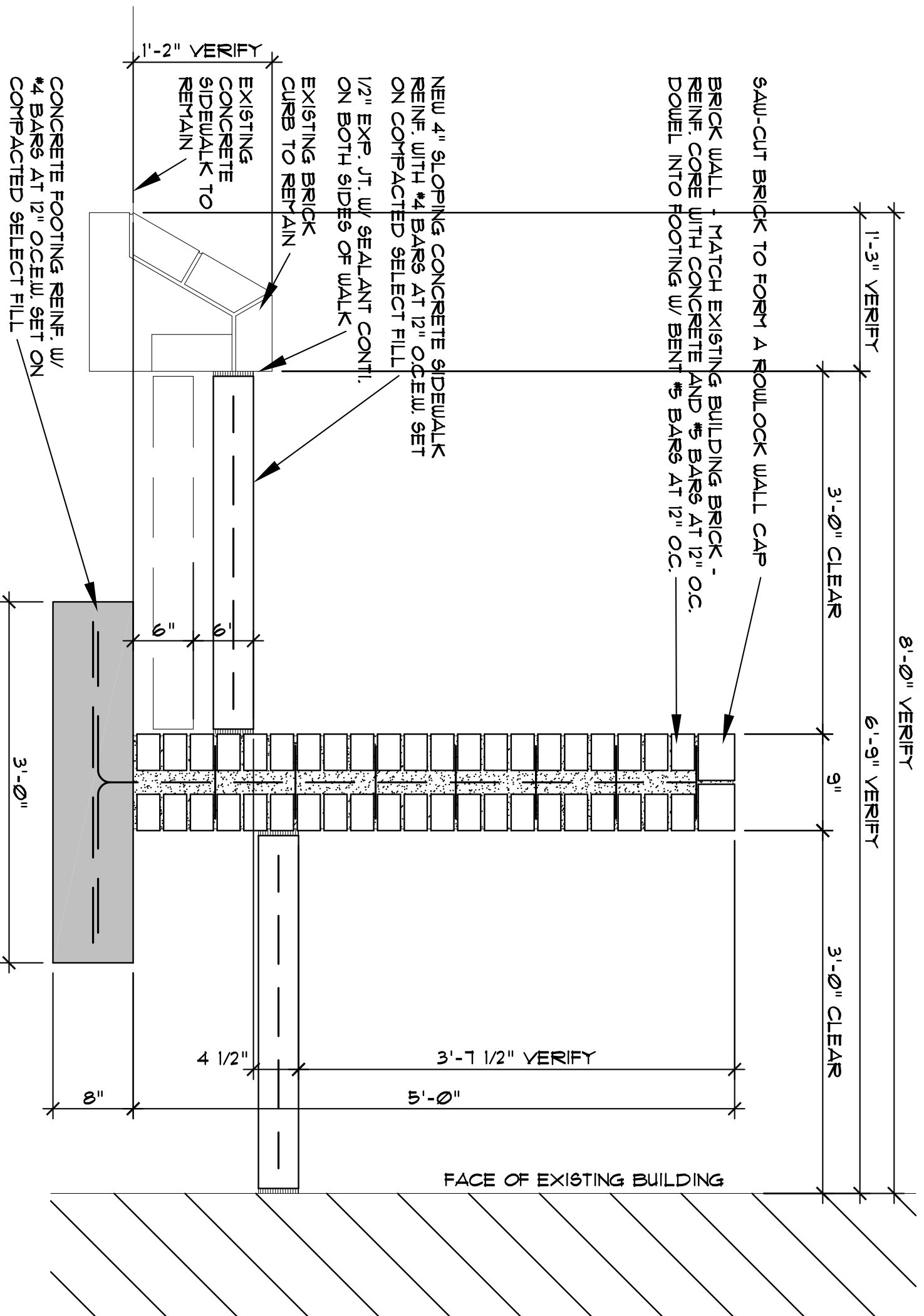
917 E. Blanco Road
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EXPIRATION DATE: 03 / 31 / 2026

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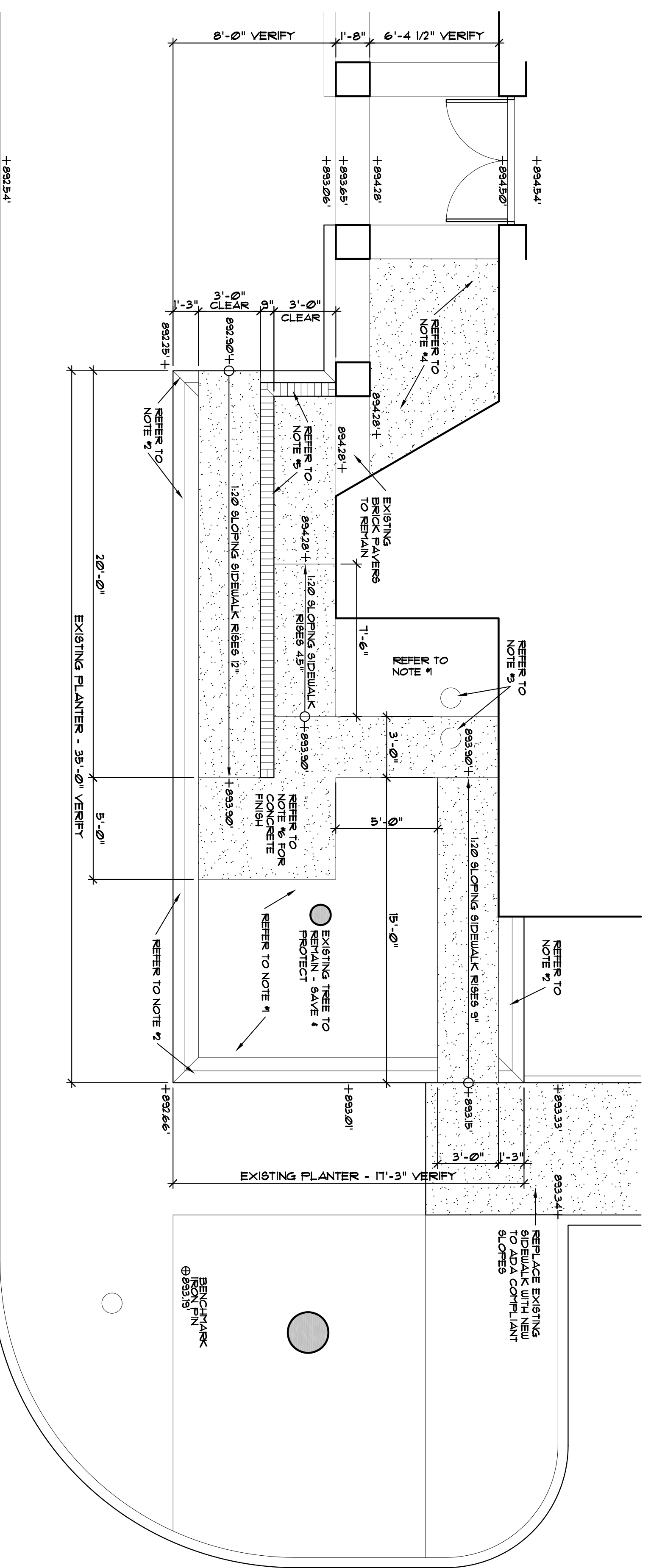
DEMOLITION & REVISED FLOOR PLANS		
SHEET HISTORY		
MARK	DATE	DESCRIPTION
1	10/21/24	PRELIMINARY DESIGN
2	11/12/24	50% COMPLETE SET
3	02/04/25	FOR CONSTRUCTION

DRAWN BY: JMN
CHECKED BY: JMN
A2



4 SECTION THRU BRICK WALL
SCALE: 1" = 1'-0"

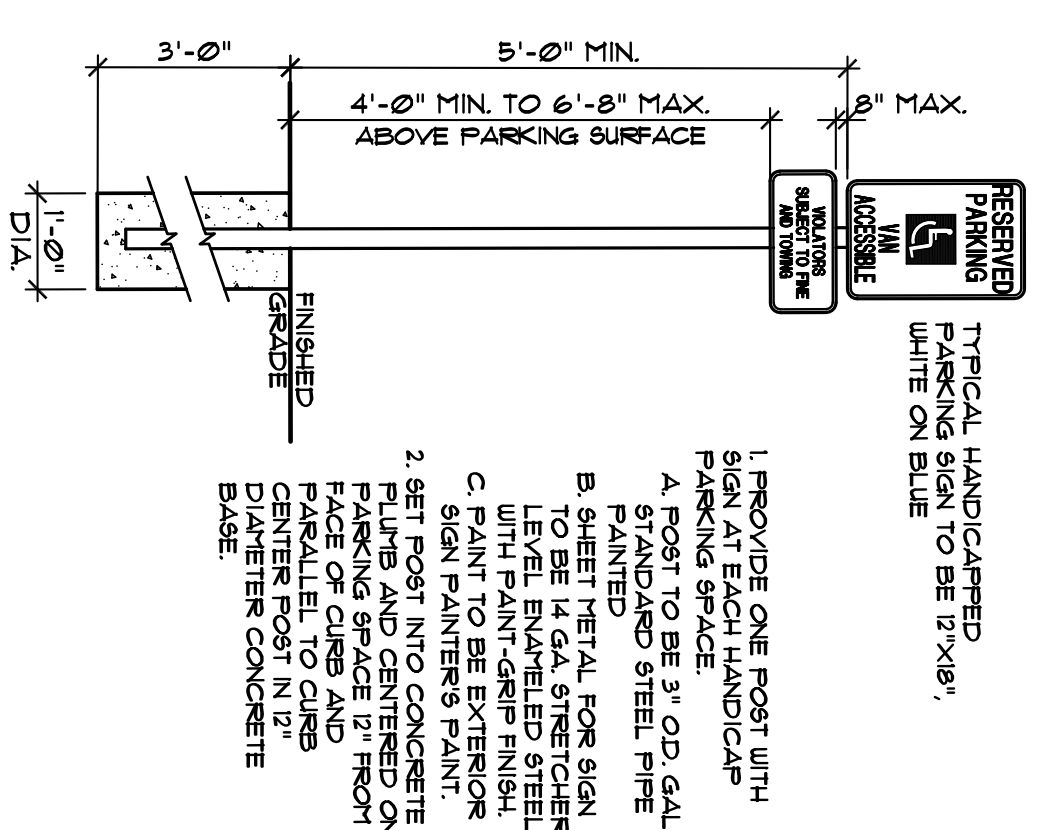
NOTE: REMOVE ENOUGH EXISTING SOIL IN PLANTER TO ALLOW FOR MIN. 6" COMPACTED SELECT FILL UNDER NEW FOOTING AND SLOPING SIDEWALKS. IN AREAS OF NEW PLANTING, ADD BACK TOPSOIL SUITABLE FOR LANDSCAPING.



2 NEW SLOPING SIDEWALK PLAN
SCALE: 1/4" = 1'-0"

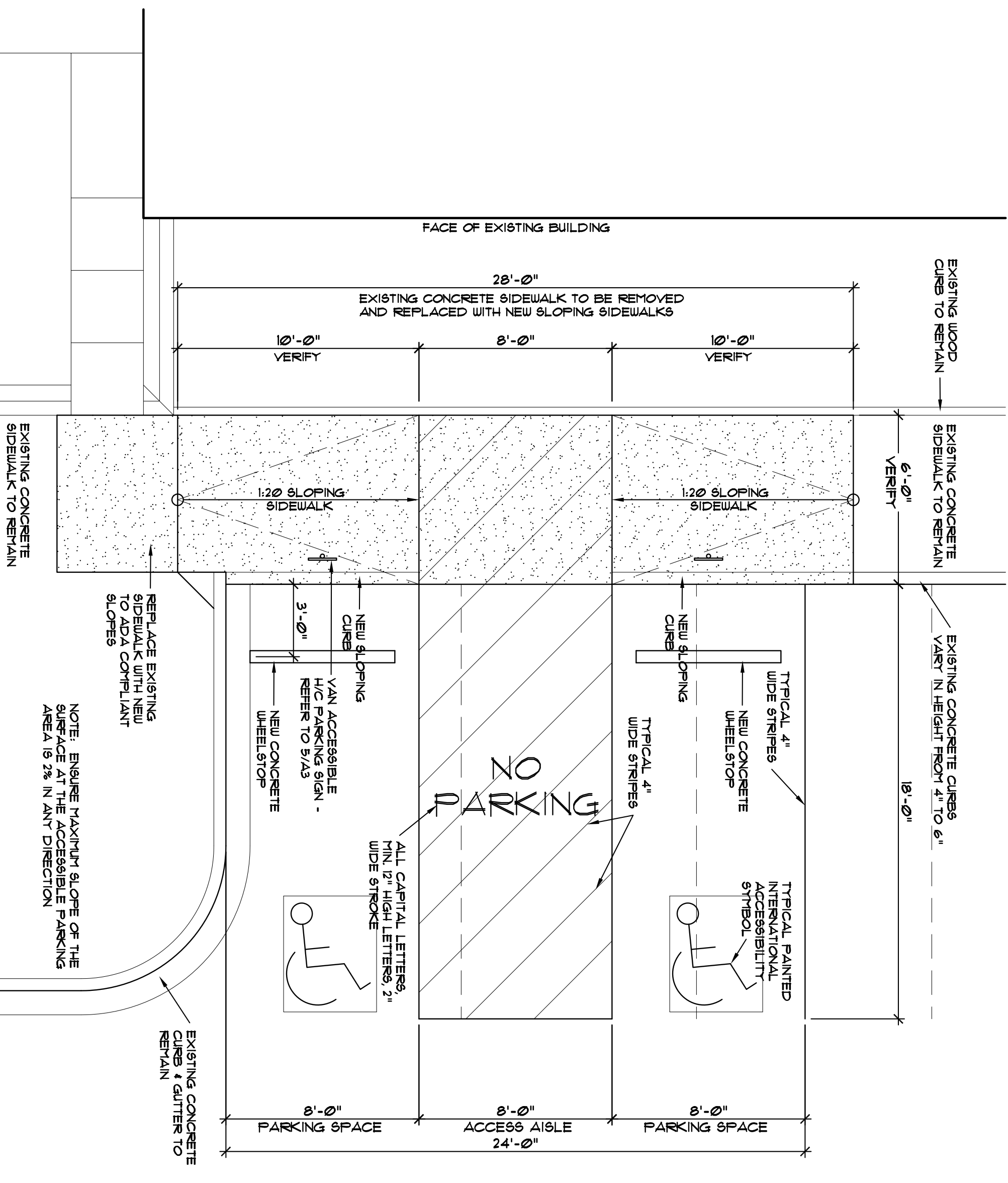
3 REFERENCED NOTES
SCALE: 1/4" = 1'-0" FOR DETAIL 2 / A3

NOTE #1 REMOVE ALL LANDSCAPING INSIDE THE PLANTER AREA EXCEPT THE TREE - SAVE & PROTECT - ADD NEW LANDSCAPE SOIL AND GRADE TO BE FLUSH WITH EDGES OF NEW SIDEWALKS.
NOTE #2 EXISTING SLOPED BRICK PLANTER CURB MATCH & REPAIR INSIDE FACE WHERE LEFT EXPOSED BY A LOWER SIDEWALK ELEVATION
NOTE #3 EXISTING GROUND MOUNTED LIGHT TO BE RELOCATED TO NEW SIDEWALK ELEVATION
NOTE #4 REMOVE EXISTING GRAVEL, REMOVE AND RELOCATE EXISTING LIGHTS TO NEW SIDEWALK WITH MIN. 4" THICK REINFORCED PAVING FINISH TO MATCH ADJACENT PAVING REFER TO 21/2
NOTE #5 NEW REINFORCED BRICK WALL REFER TO DETAIL 4/13
NOTE #6 NEW CONCRETE SIDEWALKS SHALL HAVE A NON-SLIP FINISH AND HAVE NO CROSS SLOPE.



1. PROVIDE ONE POST WITH SIGN AT EACH HANDICAP PARKING SPACE.
A. POST TO BE 3" O.D. GALV. PUNCHED STEEL PIPE.
B. SHEET METAL FOR SIGN TO BE 1/4" GA. STRENGTHEN WITH 1/2" ANGLE STEEL. PAINT TO BE EXTERIOR SIGN PAINTER'S PAINT.
2. SET POST INTO CONCRETE PLUMB AND CENTERED ON FACE OF CURB AND PARALLEL TO CURB.
3. CENTER POST IN 12" WIDE CONCRETE BASE.

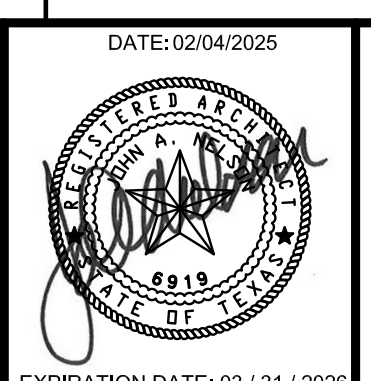
5 H/C PARKING SIGN
SCALE: 1/2" = 1'-0"



1 REVISED H/C PARKING PLAN
SCALE: 1/4" = 1'-0"

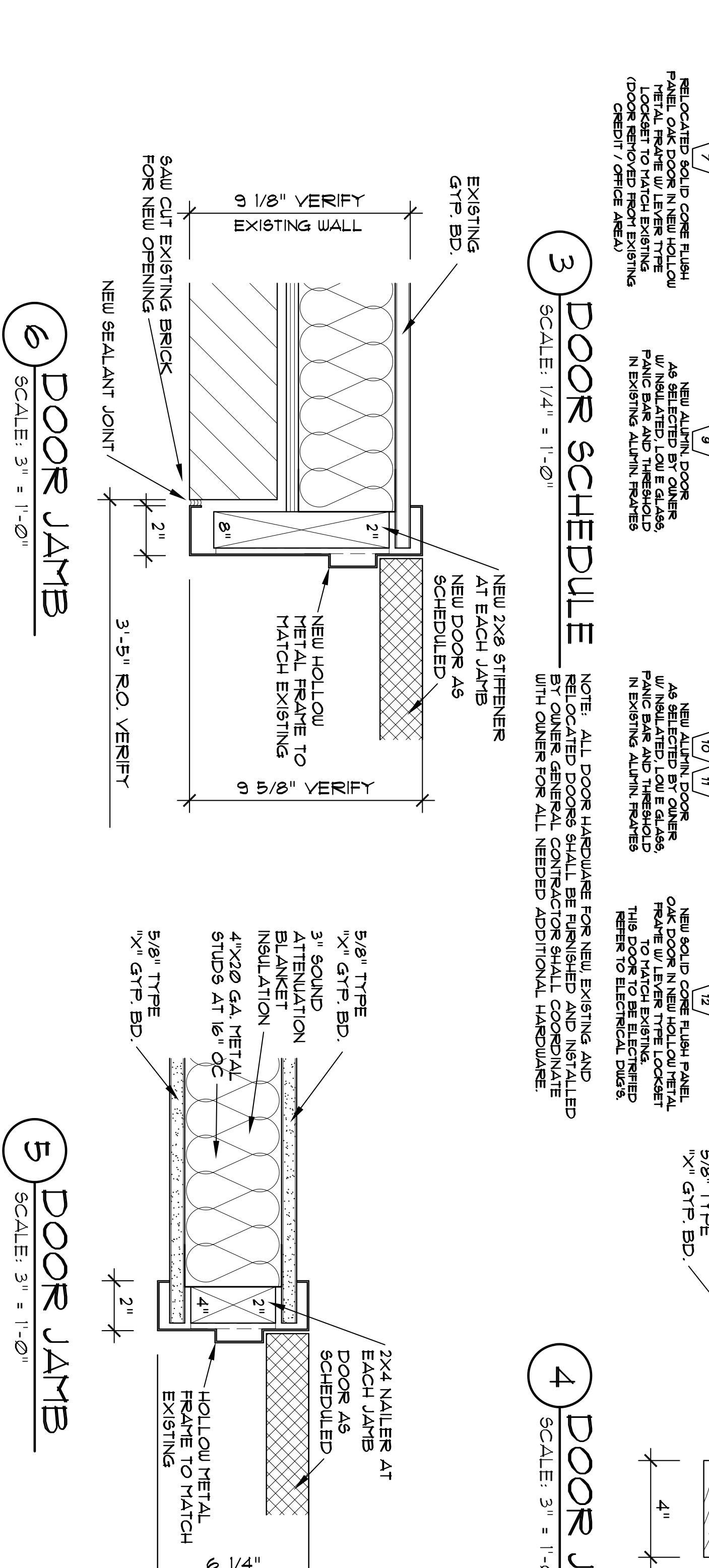
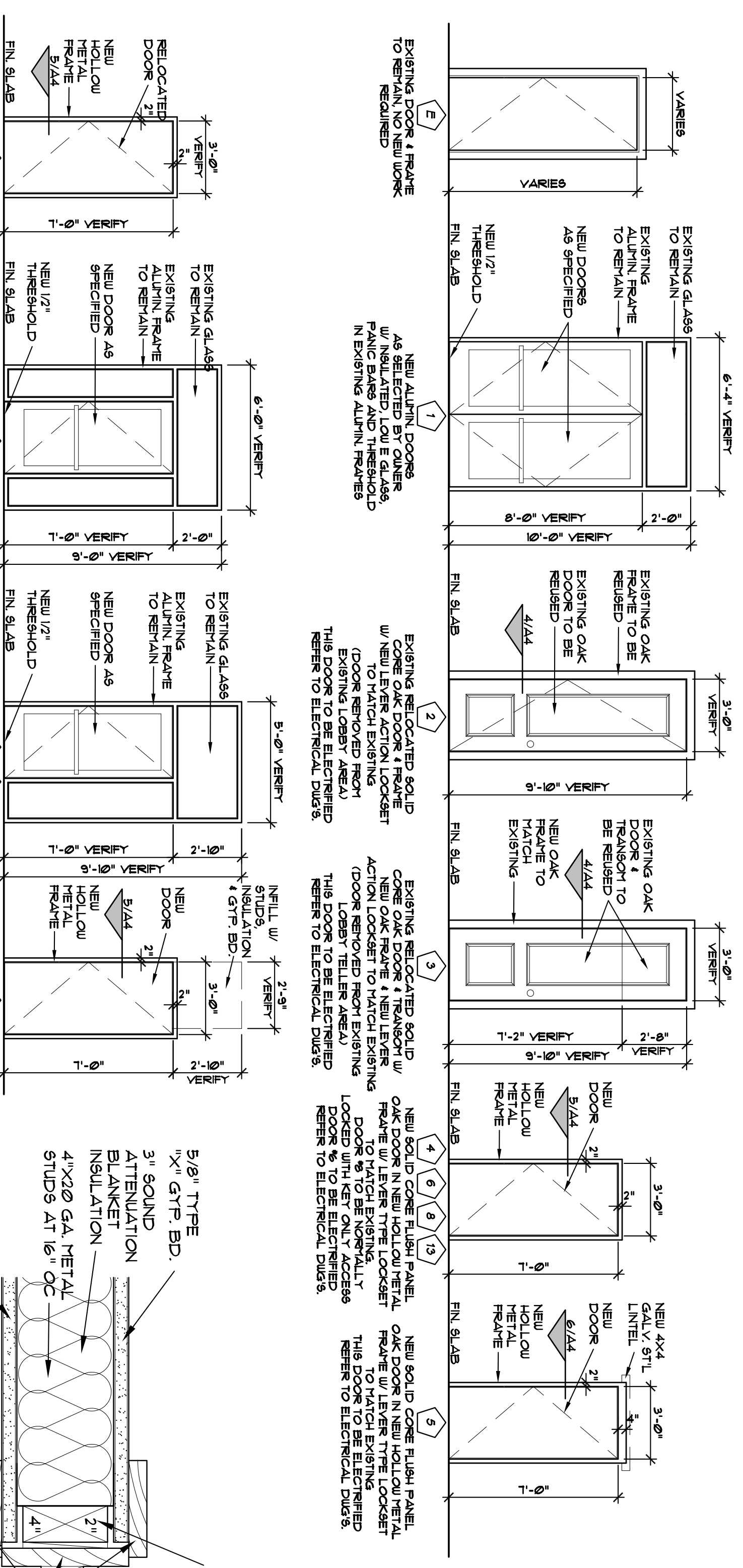
SITE DETAILS		
SHEET HISTORY		
MARK	DATE	DESCRIPTION
1	10/21/24	PRELIMINARY DESIGN
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A3



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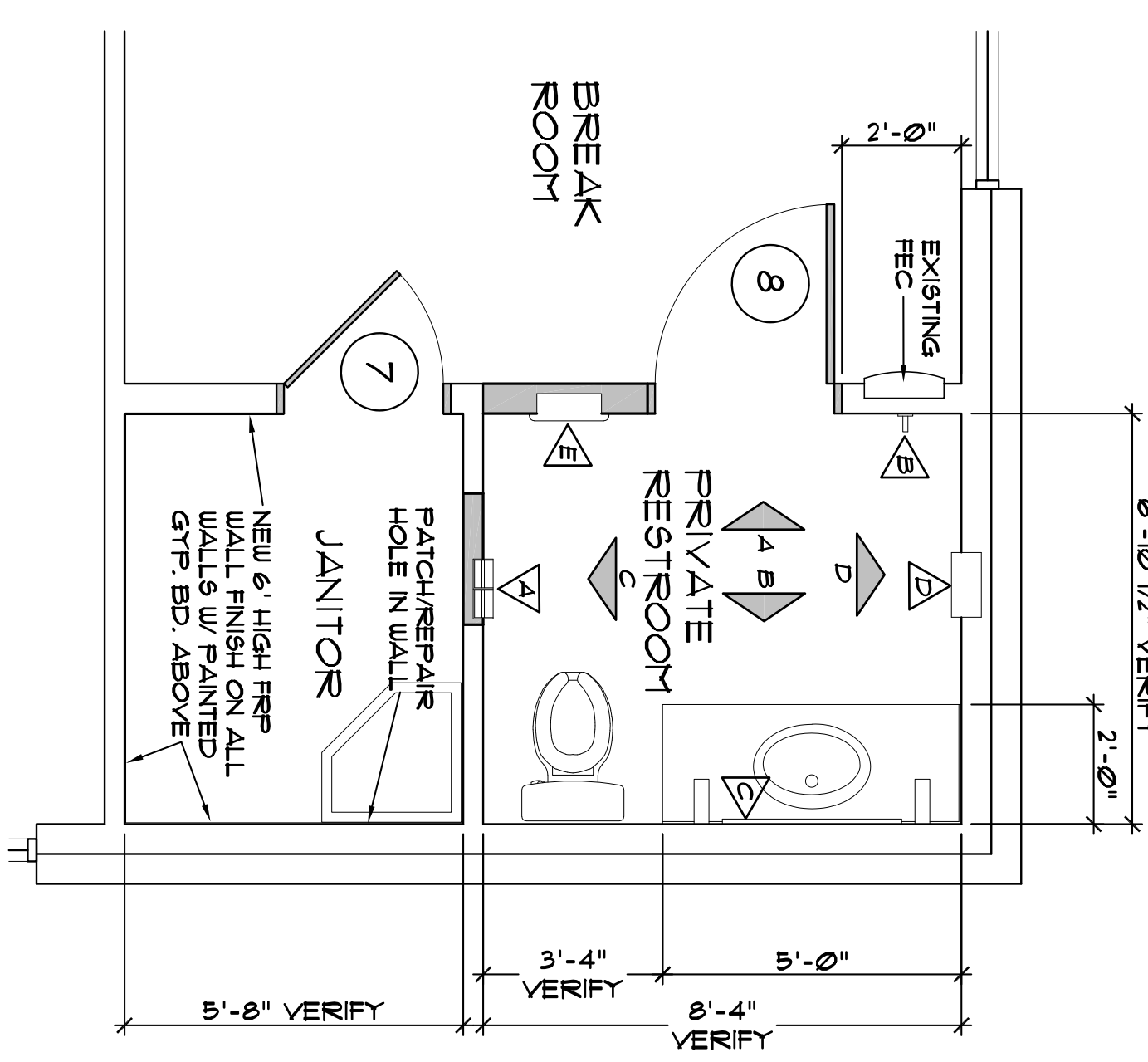
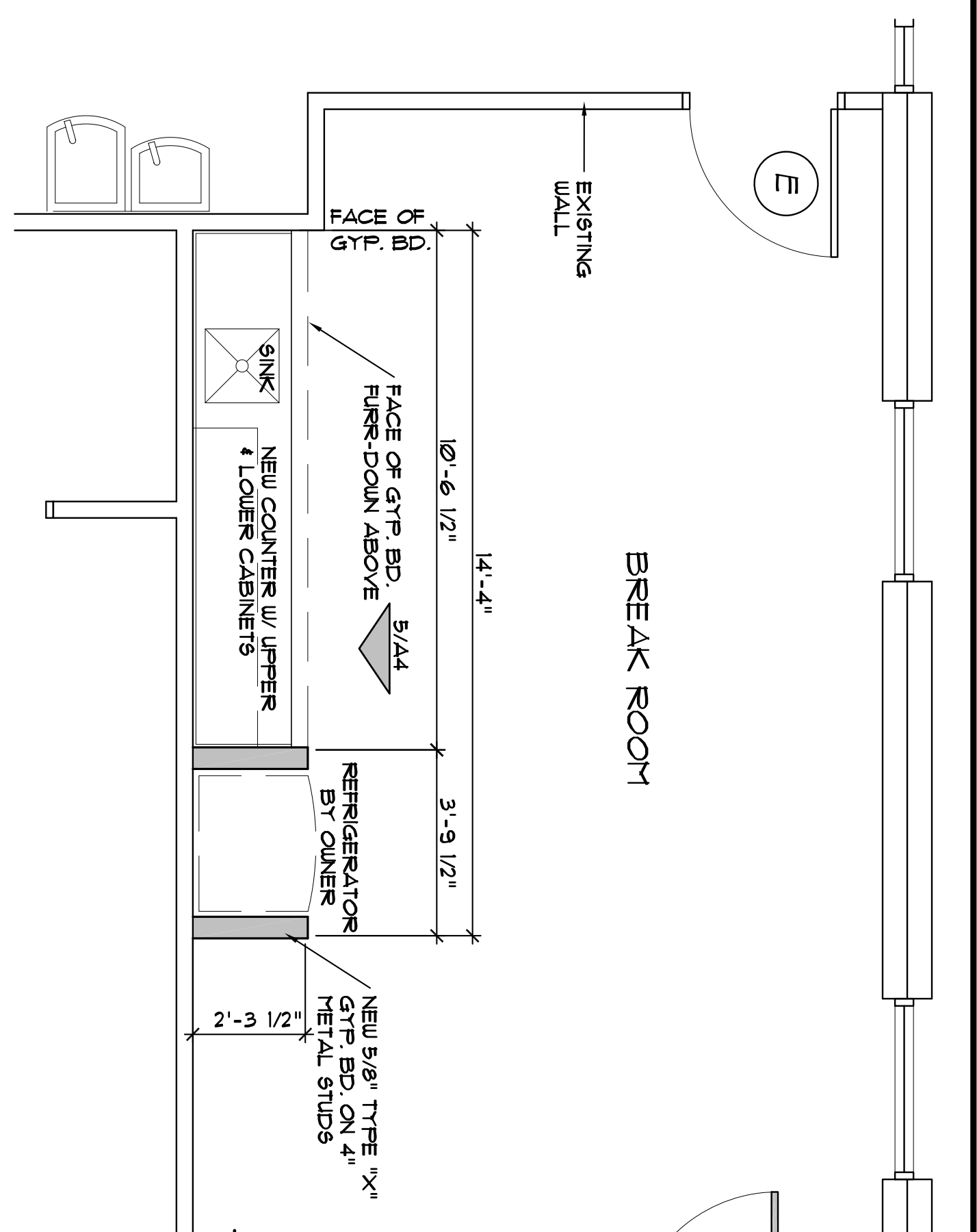
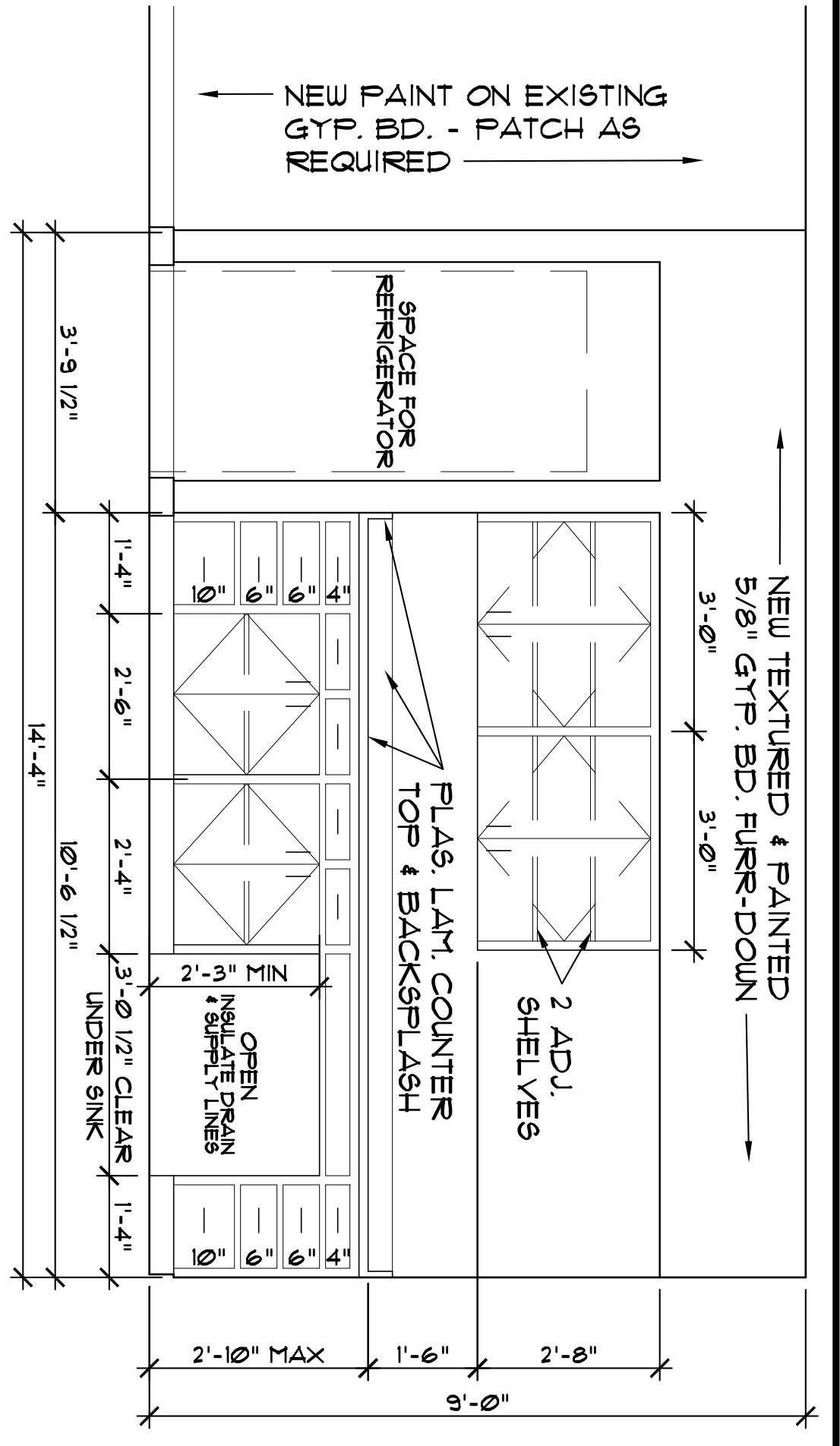
REFLECTED CEILING PLAN		
SHEET HISTORY		
MARK	DATE	DESCRIPTION
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2	11/12/24	50% COMPLETE SET
3	02/04/25	FOR CONSTRUCTION

DRAWN BY: JAN
CHECKED BY: JAN

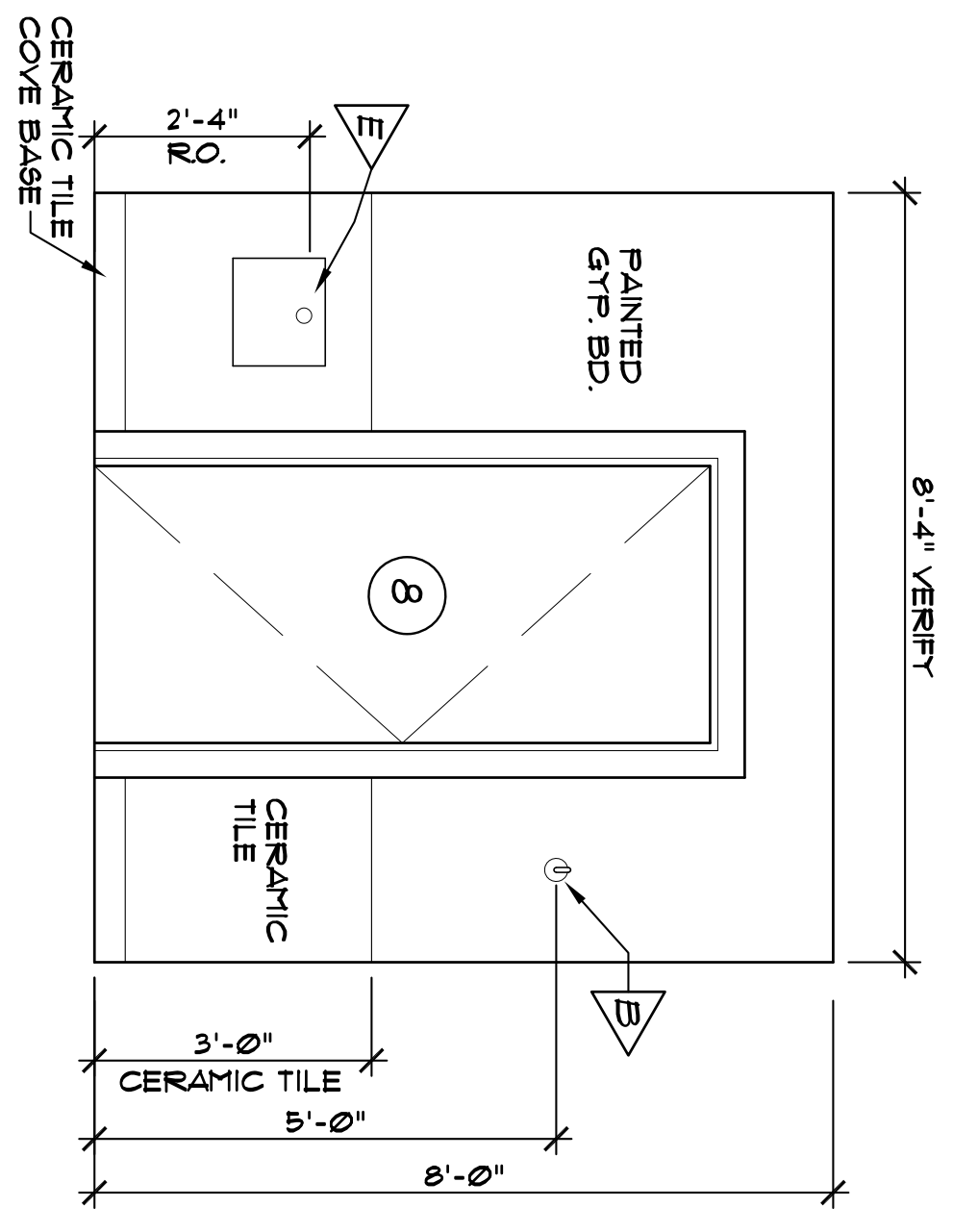
A4

ROOM	FLOOR	BASE	WALLS	CEILING	REMARKS	
EAST (MAIN) ENTRY	1	2	3	4	5	EXISTING TO REMAIN - SAVE & PROTECT
LOBBY	1	2	3	4	5	NEW FLOORING TO MATCH EXISTING AT PATCHES
VAULT #1	1	2	3	4	5	NEW VINYL FLOORING TO MATCH EXISTING
H/C TELLER	1	2	3	4	5	NEW CERAMIC TILE - AS SELECTED BY OWNER
OFFICE #1	1	2	3	4	5	NEW CONCRETE AS DETAILED
OFFICE #2	1	2	3	4	5	EXISTING TO REMAIN - SAVE & PROTECT
OFFICE #3	1	2	3	4	5	NEW WOOD TO MATCH EXISTING
OFFICE #4	1	2	3	4	5	NEW CERAMIC TILE AS SELECTED BY OWNER
OFFICE #5	1	2	3	4	5	NEW VINYL / RUBBER TO MATCH EXISTING
OFFICE #6	1	2	3	4	5	EXISTING TO REMAIN - SAVE & PROTECT
SECRETARY #1	1	2	3	4	5	NEW GYP. BD. - TAPE, FLOAT, TEXTURE & PAINT
LOBBY TELLERS	1	2	3	4	5	NEW CERAMIC TILE - AS SELECTED BY OWNER
WORK AREA #1	1	2	3	4	5	NEW 6" HIGH FRP WALL PANELS
DRIVE-UP TELLERS	1	2	3	4	5	EXISTING TO REMAIN - SAVE & PROTECT
NORTH ENTRY	1	2	3	4	5	NEW GYP. BD. - TAPE, FLOAT, TEXTURE & PAINT
VEGETABLE	1	2	3	4	5	NEW SUSPENDED ACOUSTICAL CEILING - AS SELECTED B.O.
TAX ACCESSOR OFFICE	1	2	3	4	5	PATCH, REPAIR PRIME & PAINT EXISTING WALLS
CONFERENCE RM #1	1	2	3	4	5	TAPE, FLOAT, TEXTURE AND PAINT URINAL WALL ONLY
HALL #1	1	2	3	4	5	
WORK AREA #2	1	2	3	4	5	
ELECTRICAL	1	2	3	4	5	
SOUTH ENTRY	1	2	3	4	5	
STORAGE #1	1	2	3	4	5	
CONFERENCE RM	1	2	3	4	5	
STORAGE #2	1	2	3	4	5	
WORK AREA #3	1	2	3	4	5	
HALL #2	1	2	3	4	5	
VAULT #2	1	2	3	4	5	
WOMEN	1	2	3	4	5	
MEN	1	2	3	4	5	
WEST ENTRY	1	2	3	4	5	
BREAK ROOM	1	2	3	4	5	
PRIVATE RESTROOM	1	2	3	4	5	
JANITOR	1	2	3	4	5	
TAX ACCESS. STORAGE	1	2	3	4	5	

6 FINISH SCHEDULE



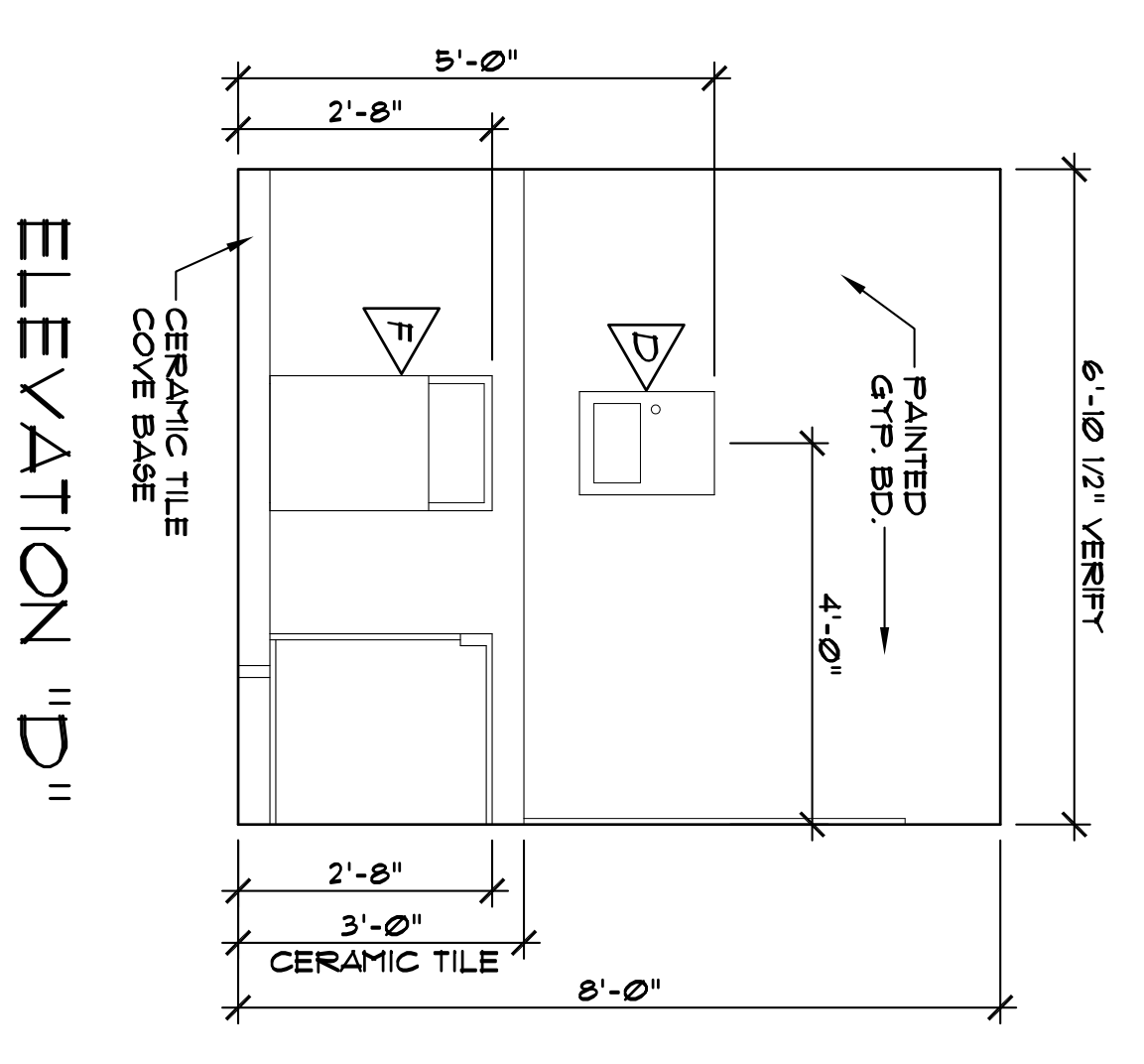
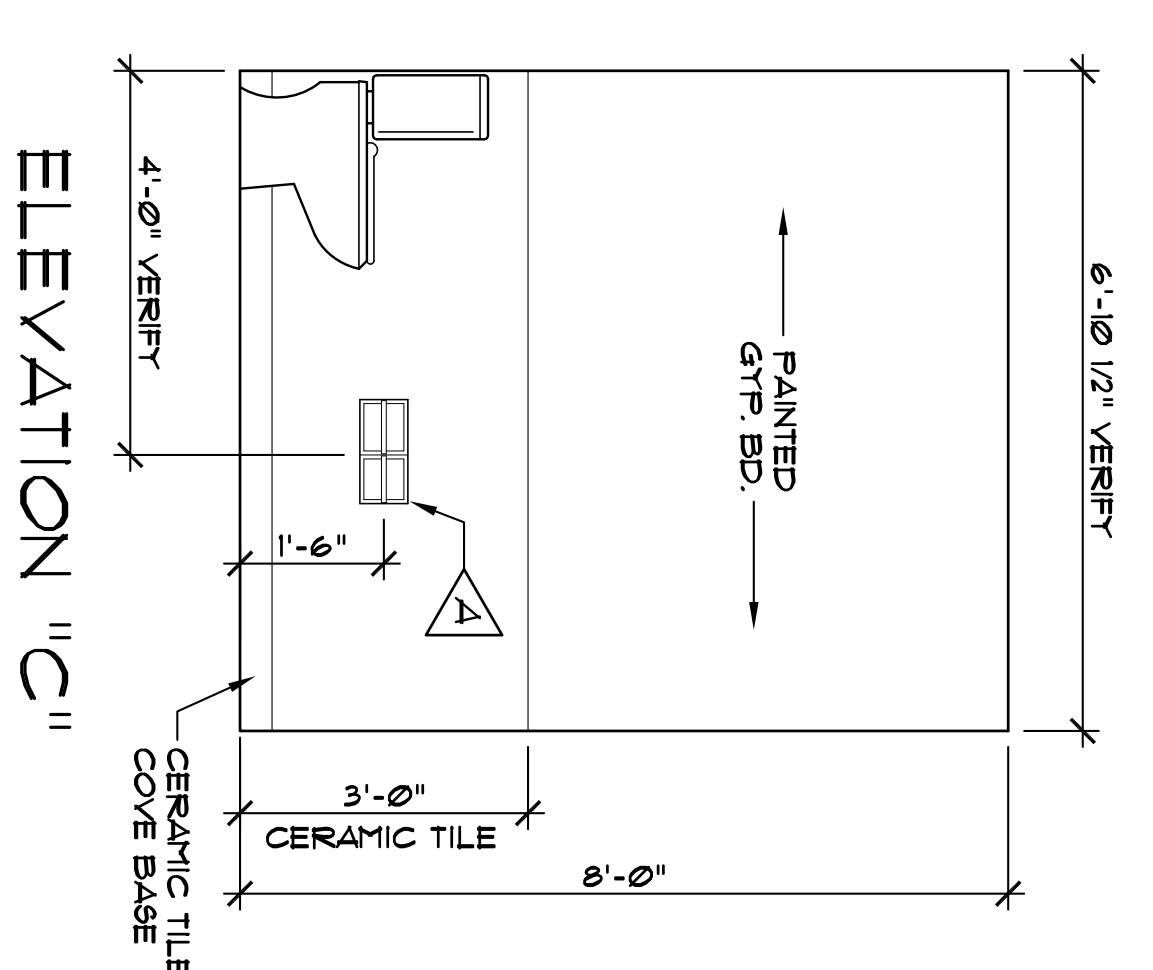
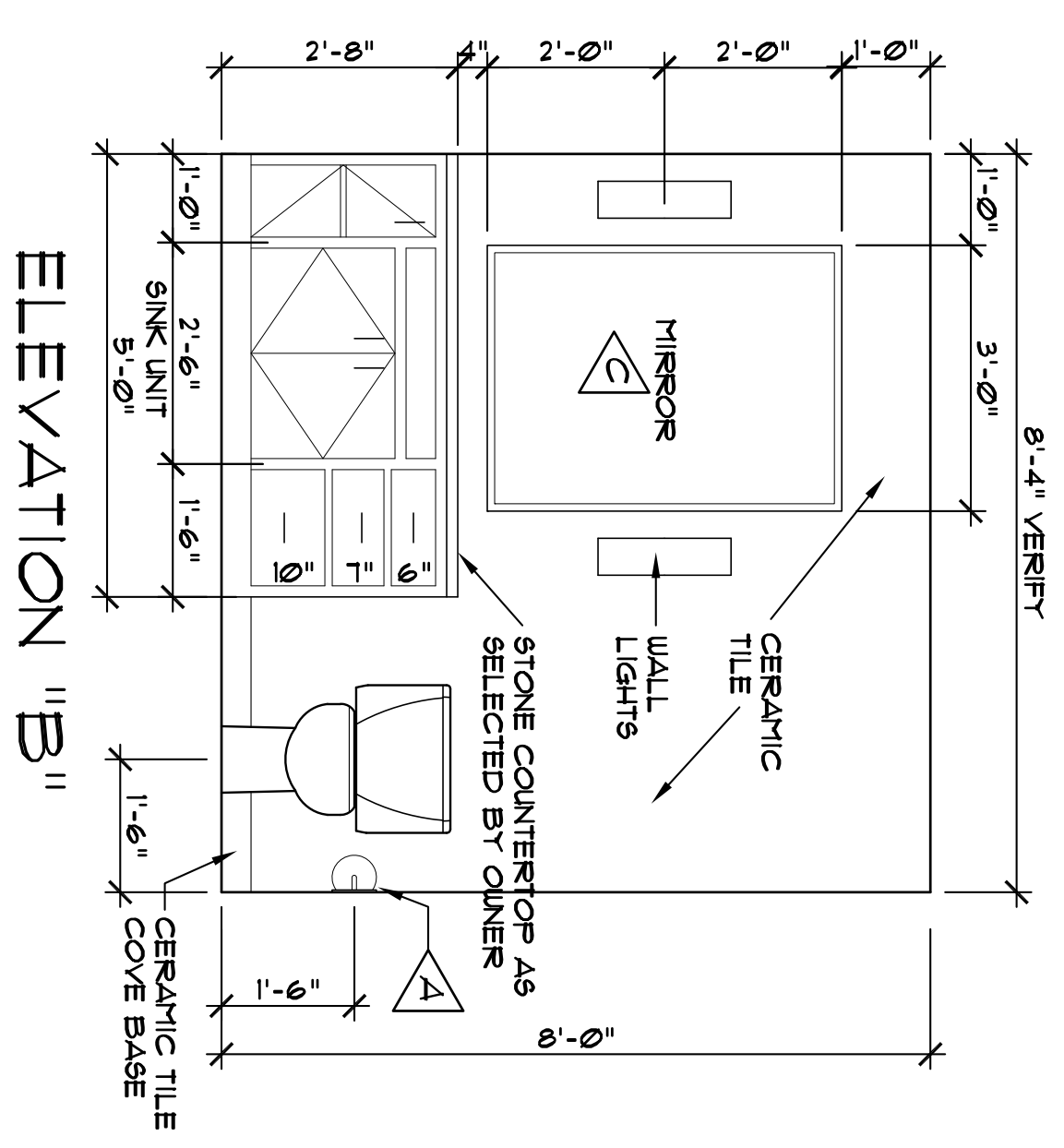
- A RECESSED DUAL-ROLL TOILET TISSUE DISPENSER FURNISHED & INSTALLED BY OWNER
- B HEAVY DUTY CLOTHES HOOK FURNISHED & INSTALLED BY OWNER
- C WALL MOUNTED 36" x 48" MIRROR WITH STAINLESS STEEL CHANNEL FRAME, F & I BY OWNER
- D SEMI-RECESSED PAPER TOWEL DISPENSER FURNISHED & INSTALLED BY OWNER
- E RECESSED SANITARY NAKIN DISPOSAL, FURNISHED & INSTALLED BY OWNER
- F RECESSED WASTE RECEPTACLE FURNISHED & INSTALLED BY OWNER



2 PRIVATE RR & JANITOR PLAN
SCALE: 3/8" = 1'-0"

3 ACCESSORY SCHEDULE
SCALE: NONE

4 BREAK ROOM PLAN
SCALE: 3/8" = 1'-0"



1 PRIVATE RESTROOM ELEVATIONS
SCALE: 1/2" = 1'-0"

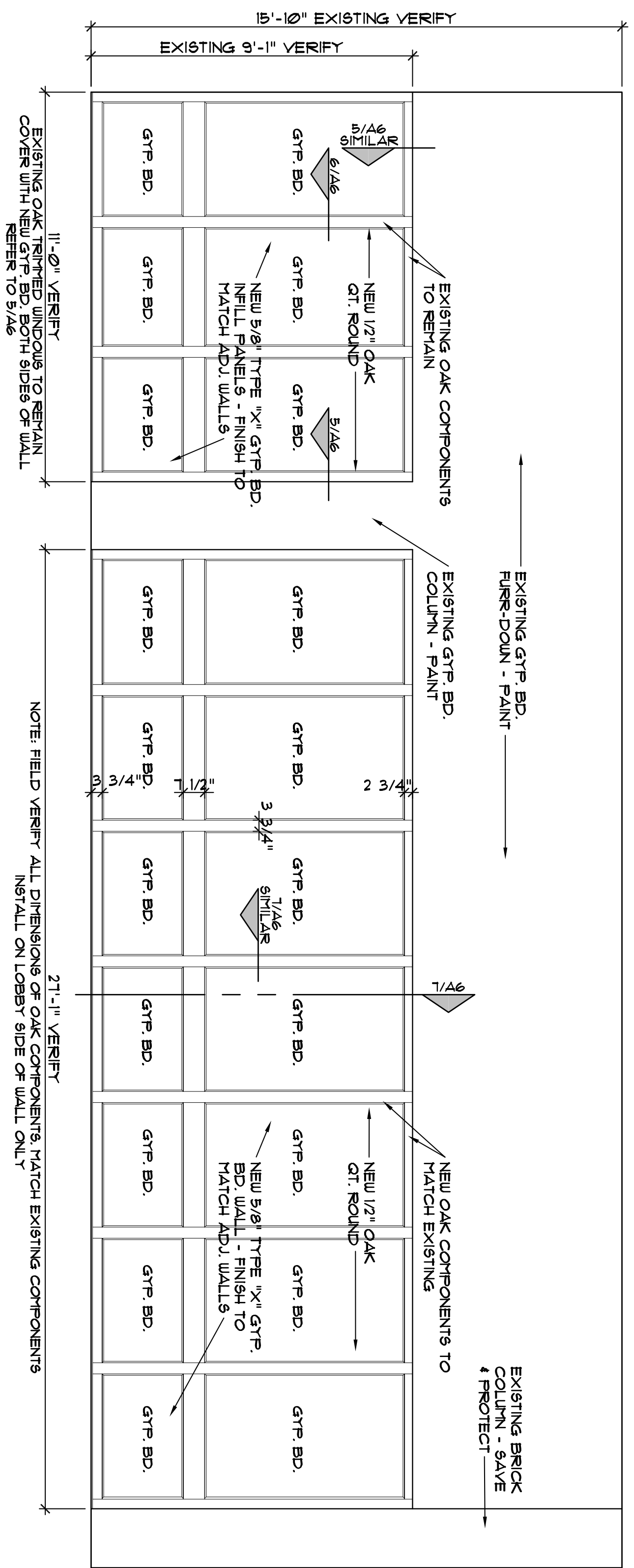
SHEET HISTORY		
MARK	DATE	DESCRIPTION
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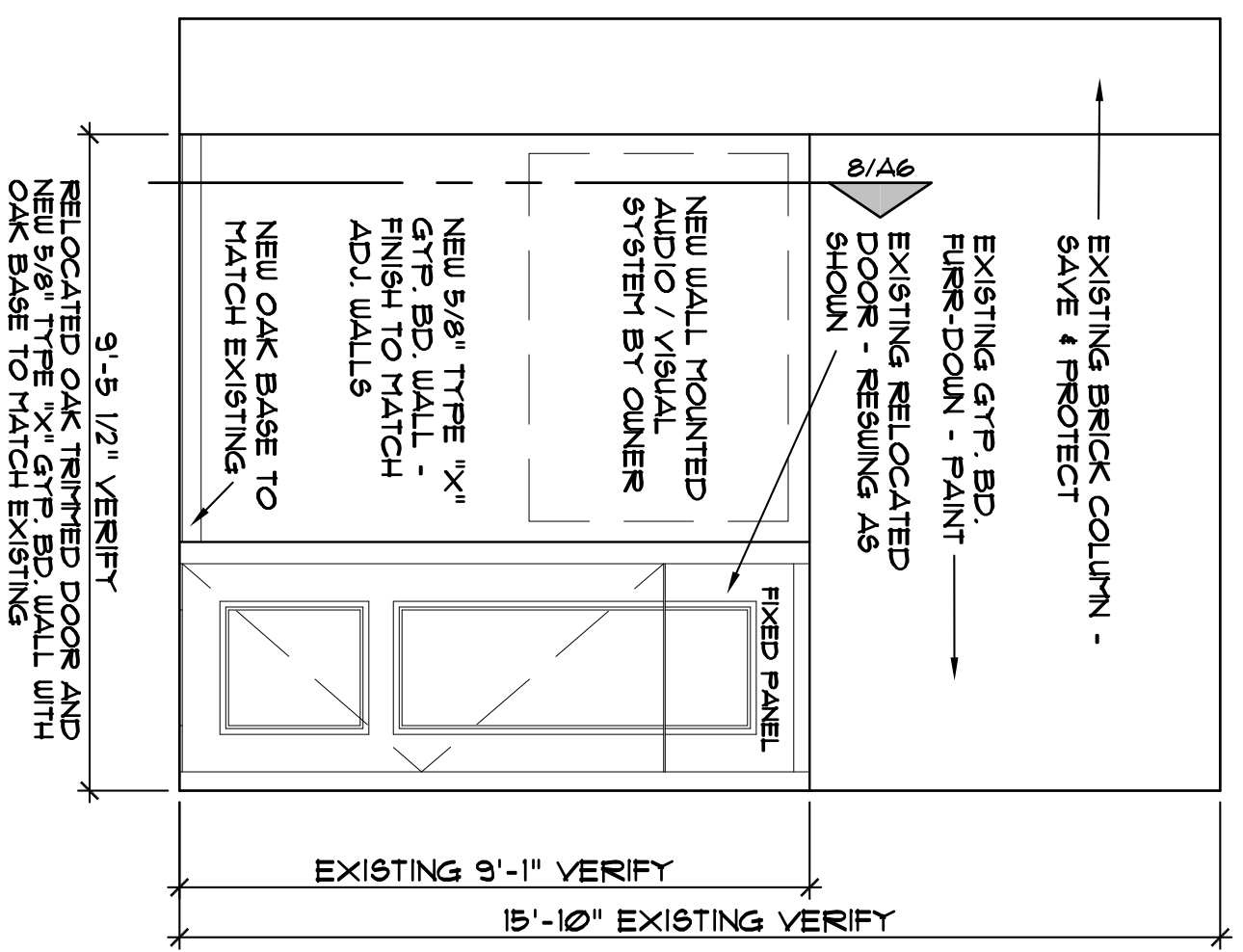


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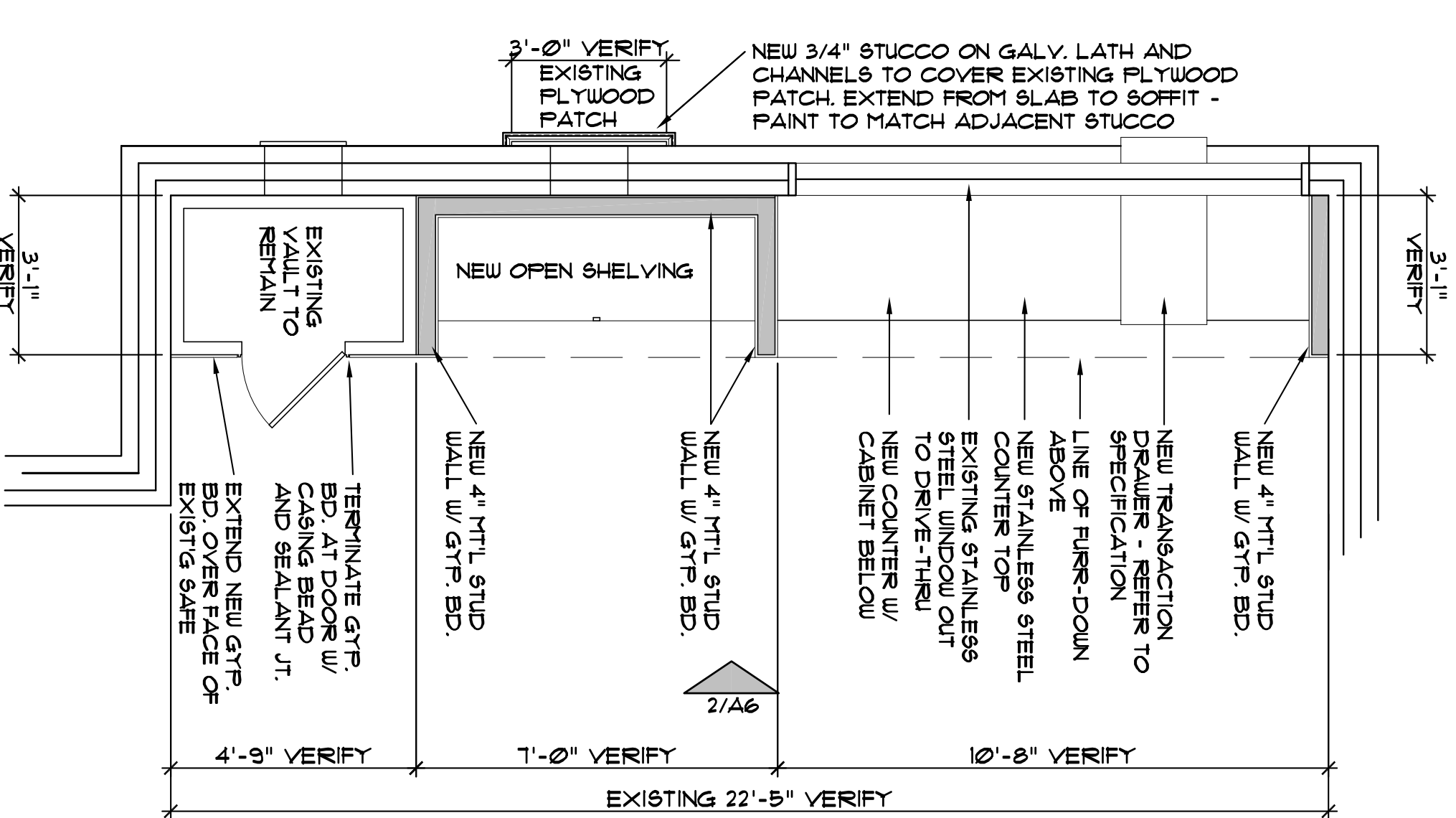
A5



4 WALL ELEVATION
SCALE: 3/8" = 1'-0"



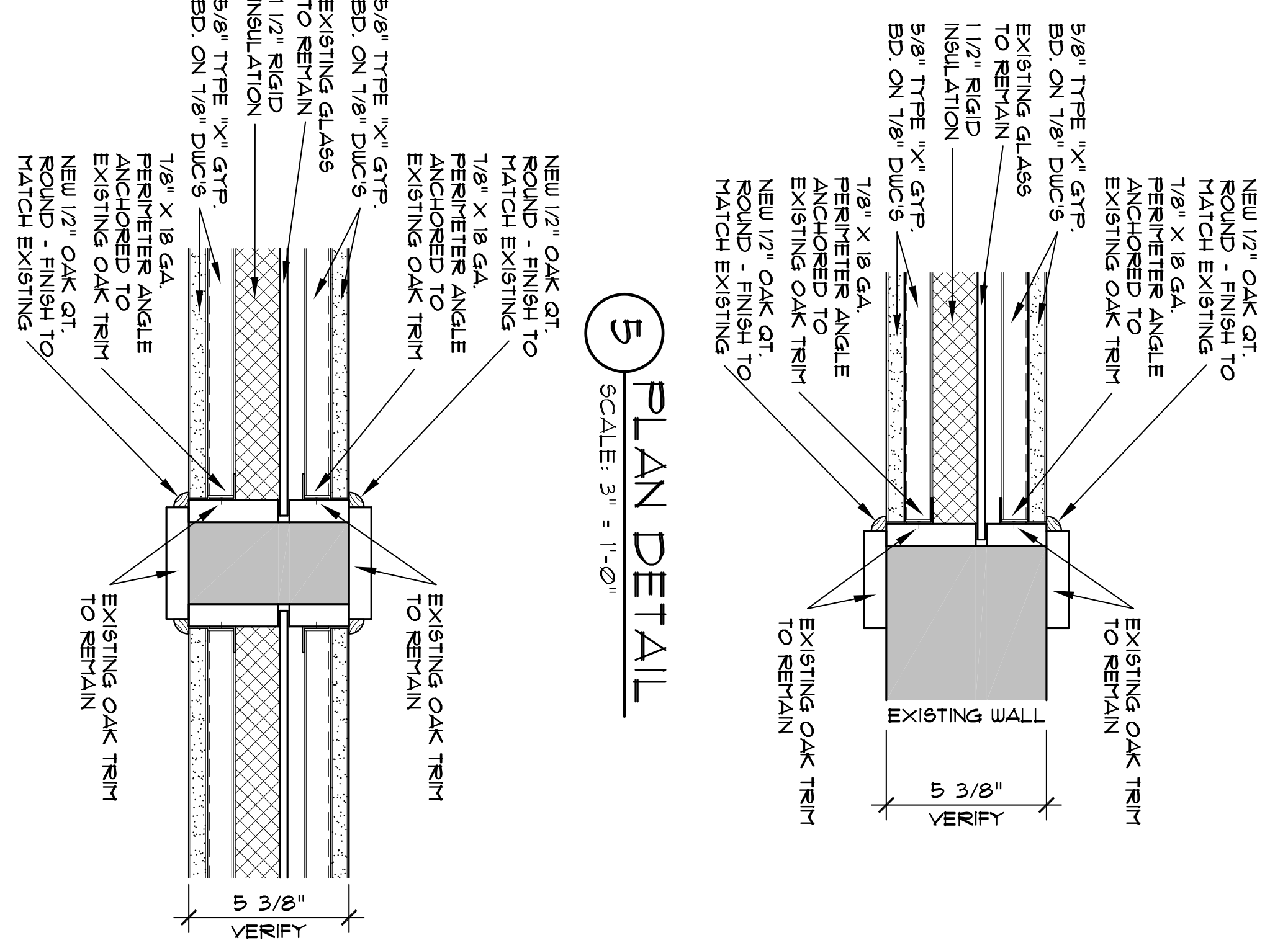
3 WALL ELEVATION
SCALE: 3/8" = 1'-0"



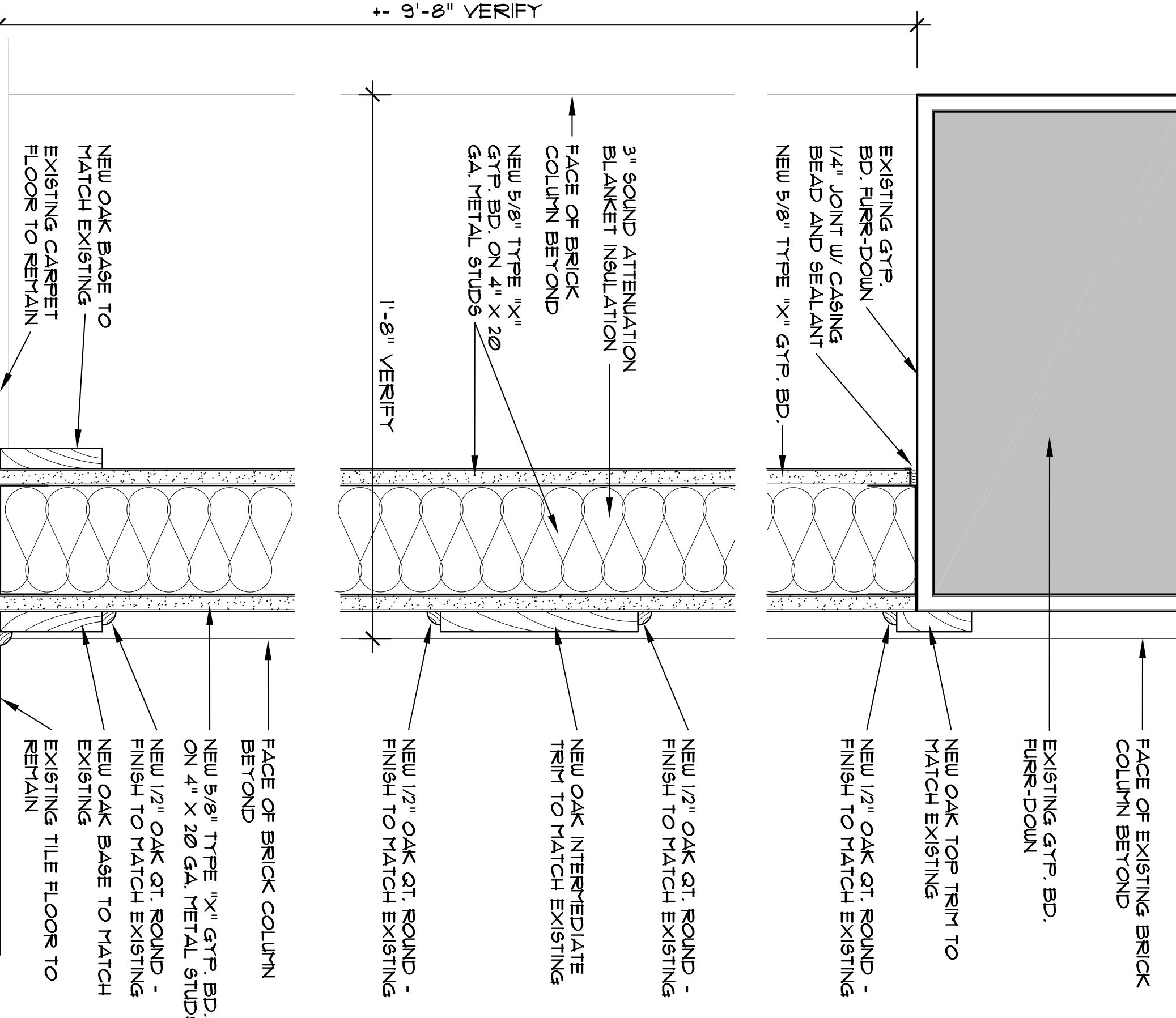
1 PLAN DETAIL
SCALE: 3/8" = 1'-0"

9 TRANSACTION DRAWER SPEC

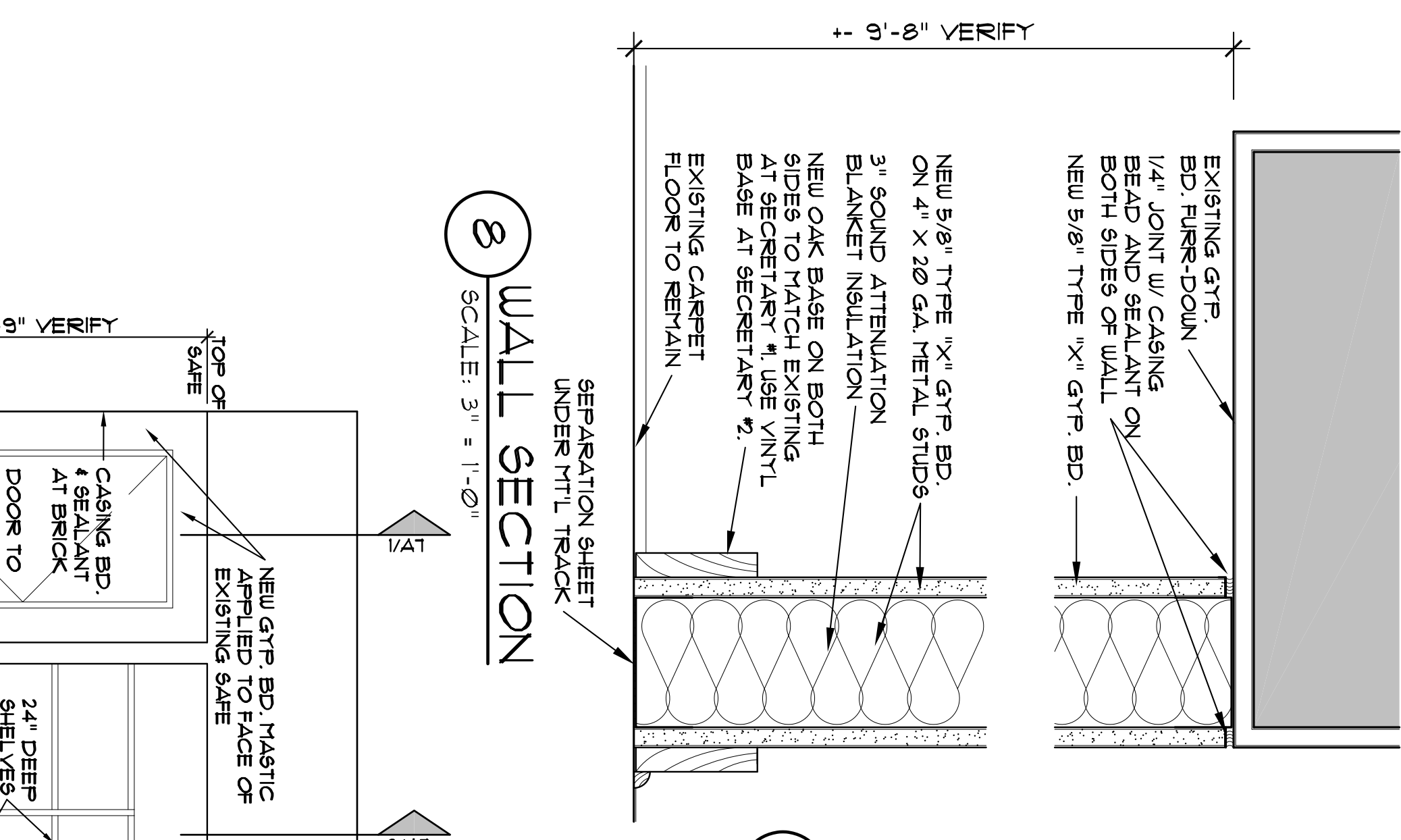
MANUFACTURER: JERRY AGUILAR (210) 760-1100 CONCURRENT. HAMILTON SLED-HOT "COLLEGE HILL" MOTORIZED TRANSACTION DRAWER WITH VEHICLE DETECTION SENSOR AND ONE-ON-ONE AUDIO SYSTEM. FINISH AND INSTALL INTERIOR AND EXTERIOR TRIM PLATES FOR A COMPLETE, FINISHED LOOKING AND WEATHERTIGHT INSTALLATION.



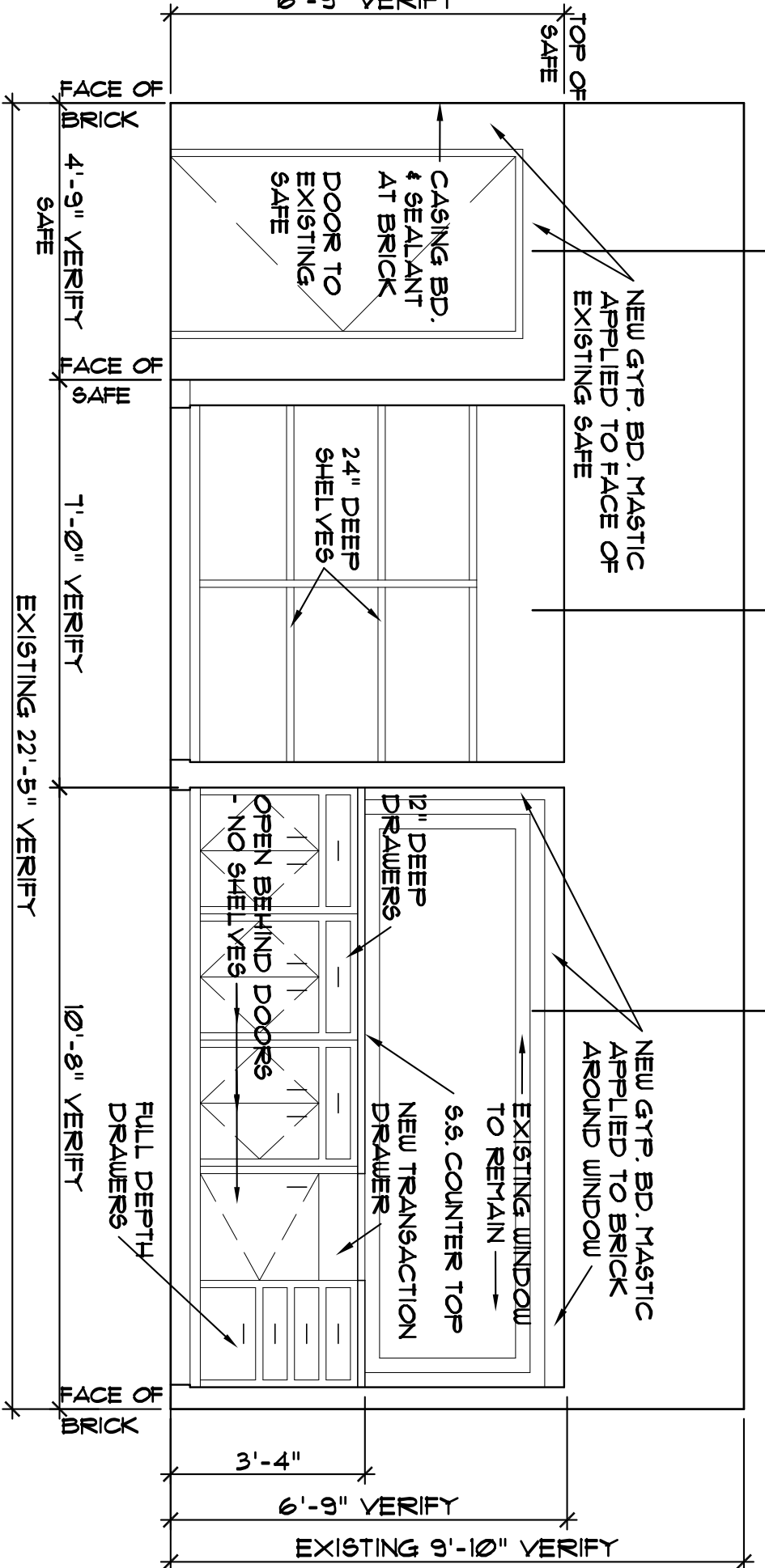
5 PLAN DETAIL
SCALE: 3/8" = 1'-0"



7 WALL SECTION
SCALE: 3/8" = 1'-0"



8 WALL SECTION
SCALE: 3/8" = 1'-0"

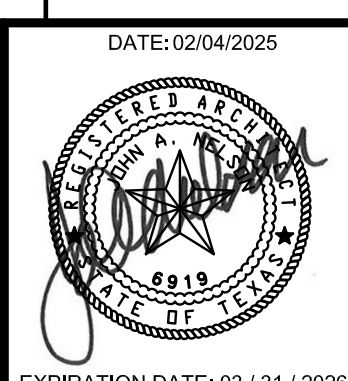


2 ELEVATION AT DRIVE-IN TELLERS
SCALE: 3/8" = 1'-0"

6 PLAN DETAIL
SCALE: 3/8" = 1'-0"

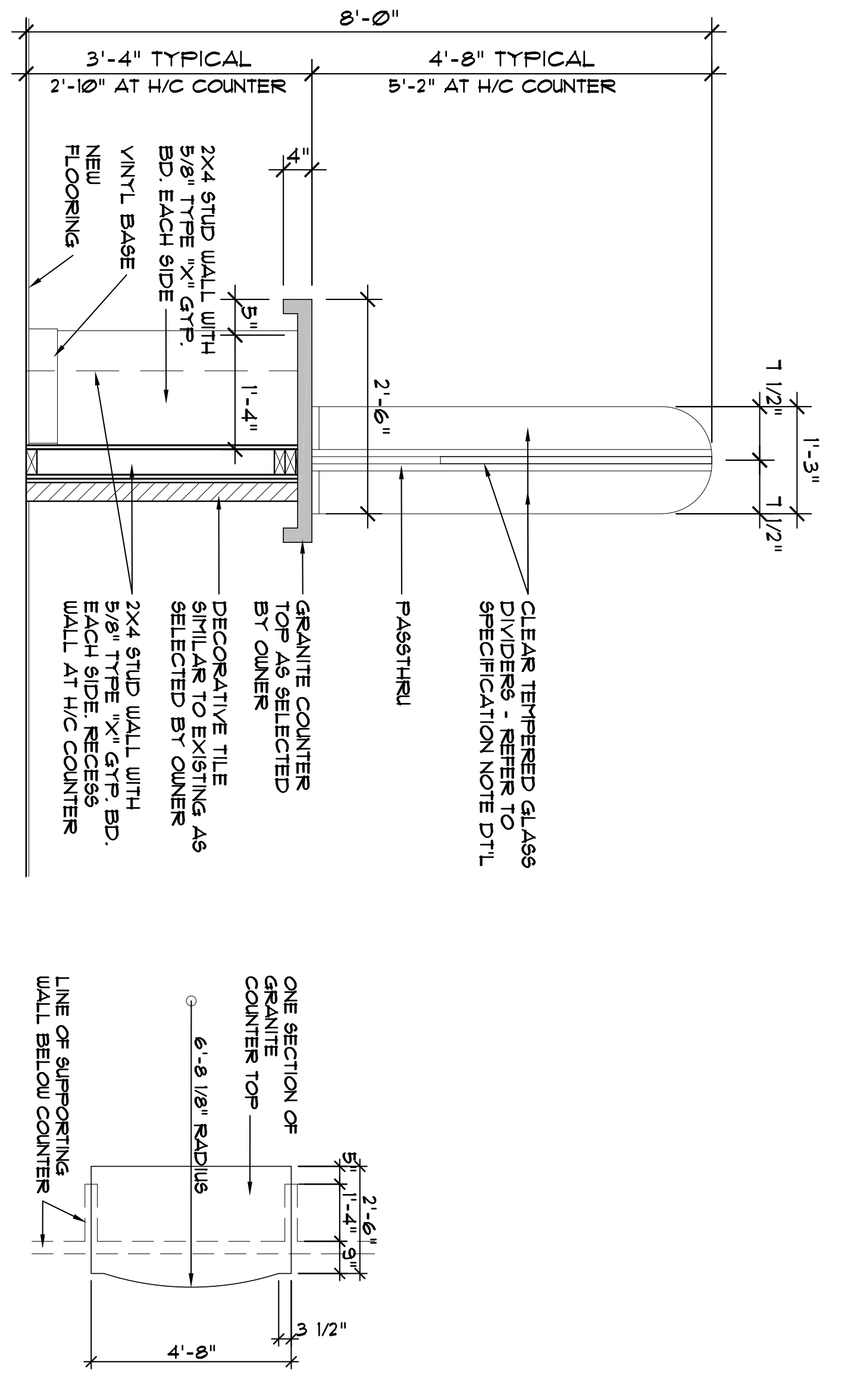
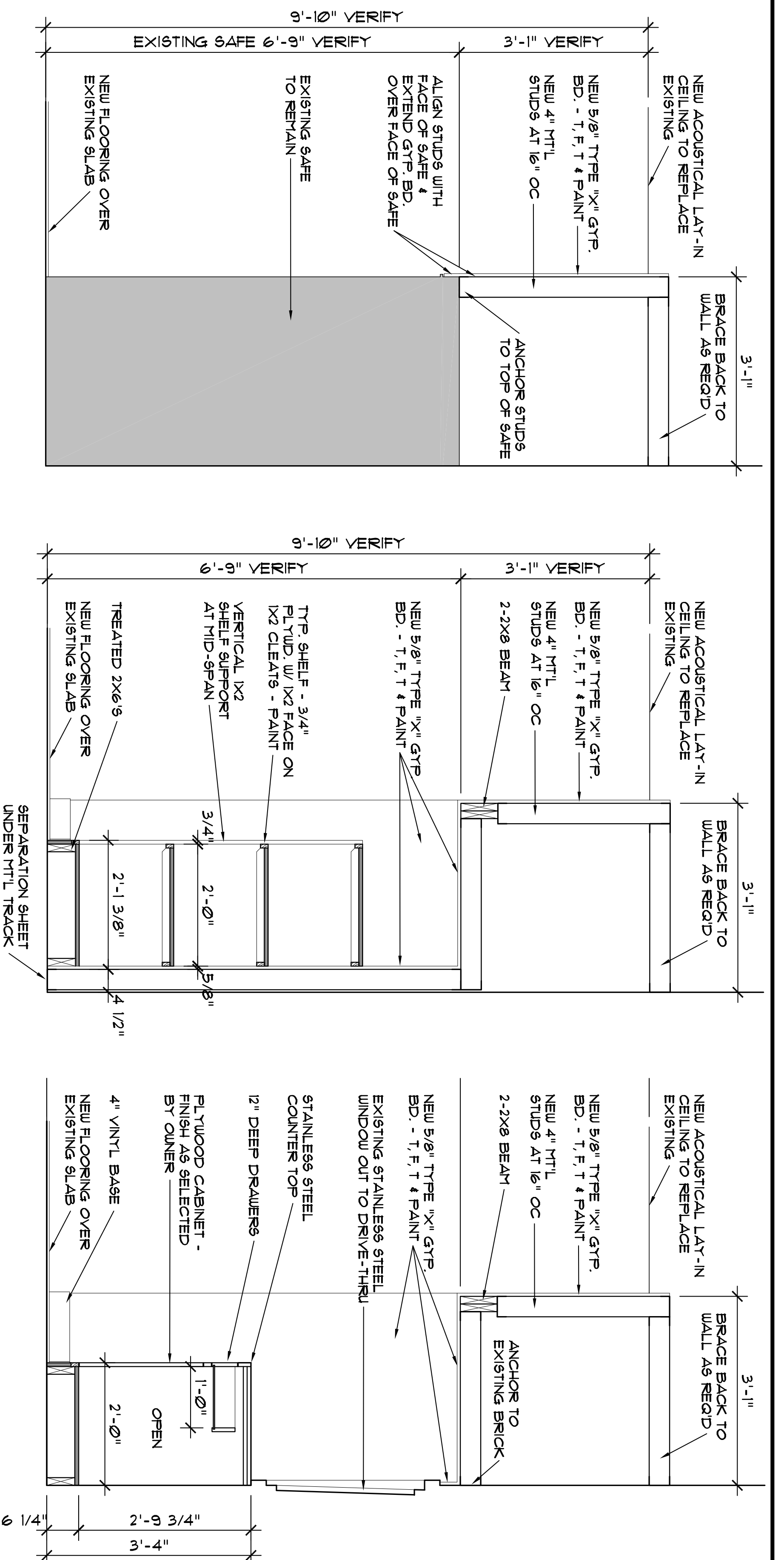
BLOW-UP PLANS AND ELEVATIONS		
SHEET HISTORY		
MARK	DATE	DESCRIPTION
1	10/21/24	PRELIMINARY DESIGN
2	11/12/24	50% COMPLETE SET
3	02/04/25	FOR CONSTRUCTION

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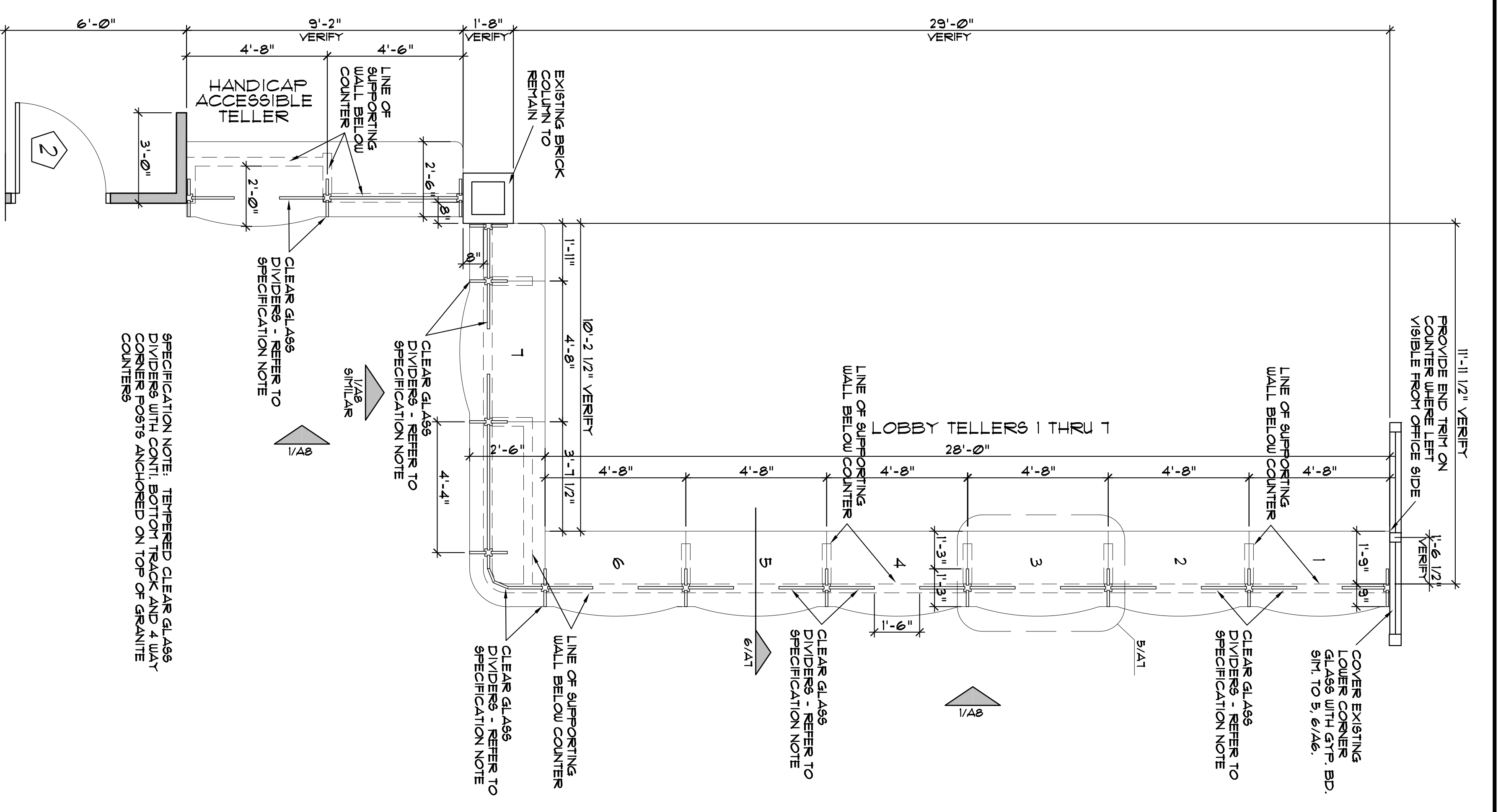
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A6



6 LOBBY COUNTER SECTION
SCALE: 3/4" = 1'-0"

5 LOBBY COUNTER PLAN
SCALE: 3/8" = 1'-0"



DATE: 02/04/2025

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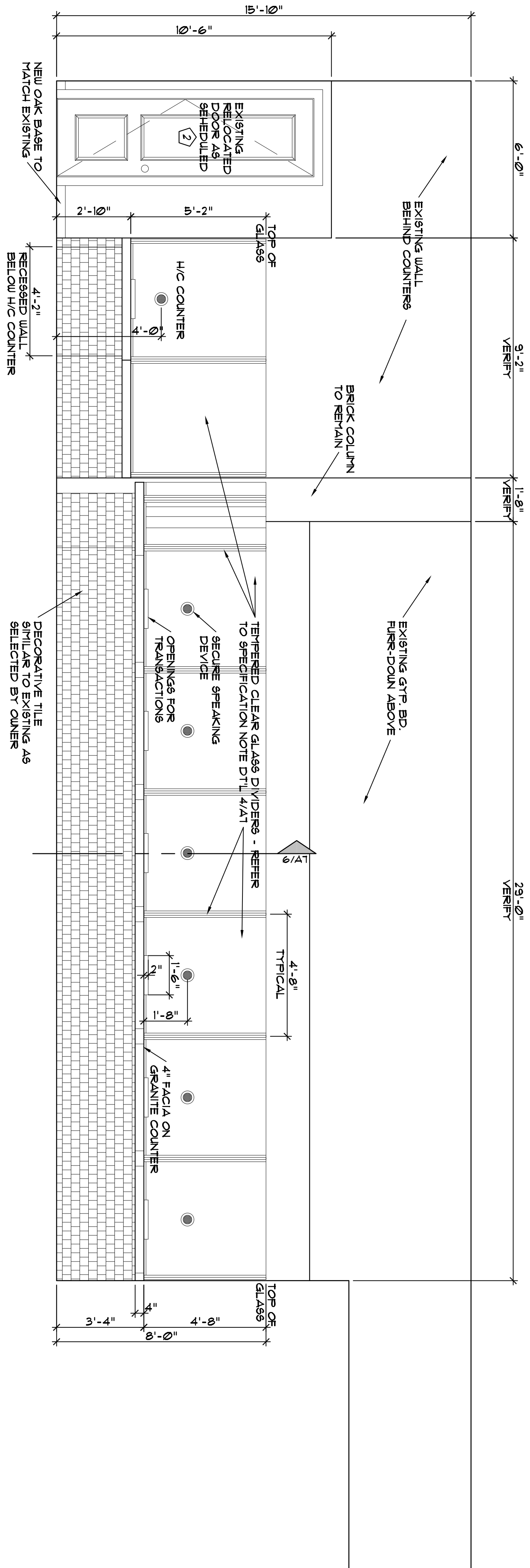
EXPIRATION DATE: 03 / 31 / 2026

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BLOW-UP PLANS AND DETAILS

SHEET HISTORY		
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A7



1 H/C & LOBBY TELLER ELEVATION
SCALE: 3/8" = 1'-0"

BLOW-UP PLANS AND DETAILS

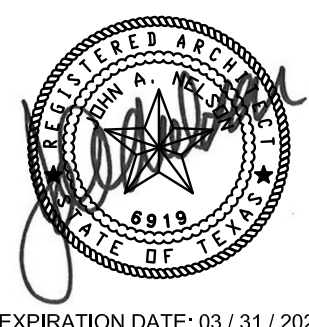
SHEET HISTORY

MARK	DATE	DESCRIPTION
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NEW MEDINA COUNTY
TAX OFFICES

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DATE: 02/04/2025



EXPIRATION DATE: 03 / 31 / 2026

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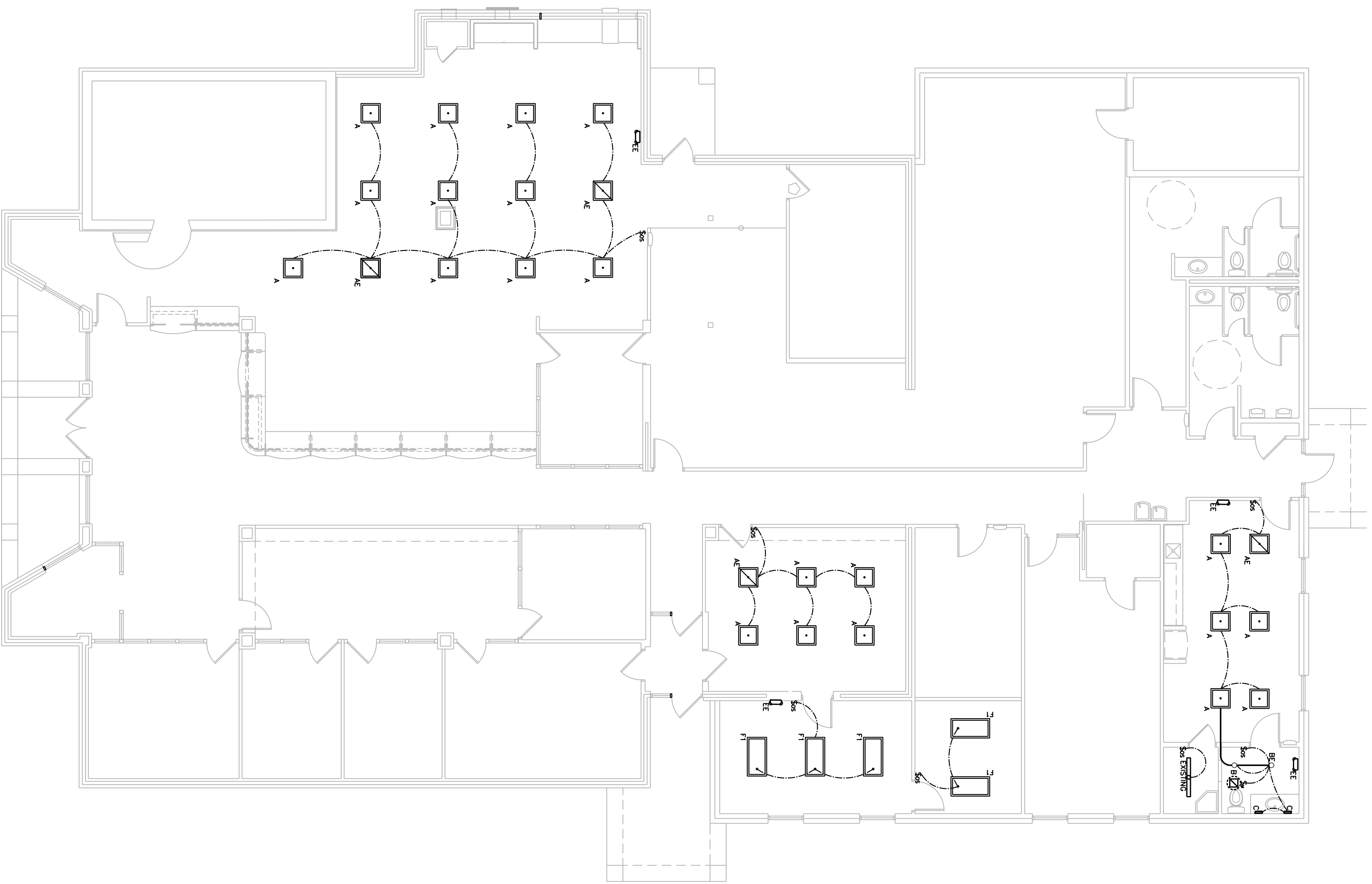
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A8

DRAWN BY: JMN
CHECKED BY: JMN

TYPE	MANUFACTURER	MODEL	LAMP	KEVIN VOLTAGE	WATTS	LUMENS	B.U.G.	MOUNTING
A & AE	CURRENT/COLUMBIA	CB172-A1-SGS-E0D (SET HIGH OUTPUT/4000K) (FOR EMERGENCY ADD ELL14)	LED	4000K	UNV	46.7	6,274	N/A
B & BE	CURRENT/PRESQUITE	1BR8-M-1551-CS9-WD/1BR8-600-T-0/FAA6ER-HB (SET ON LOW OUTPUT/4000K) (FOR EMERGENCY ADD EWR/LED/BR107)	LED	4000K	UNV	9.3	826	N/A
EM	CURRENT/COMPASS	CU2	LED	UNV	UNV	0.56	N/A	EMERGENCY BUG EYE FIXTURE
EX1	CURRENT/COMPASS	CR	LED	UNV	UNV	1.88	N/A	EMERGENCY EGRES BUG EYE LIGHT
E1	CURRENT/COLUMBIA	LCAT24-S1-SGS1 (SET @ MED 6031M/4000K)	LED	4000K	UNV	3.22	6,296	N/A
C	KUZO	CHUTE WS15923	LED	3000K	UNV	38.8	1,015	24" VERTICAL BEAUTY BAR - MATT BLACK

Contact Bell & McCoy Lighting and Controls - Steven Butler - stbutler@bellandmccoy.com (512)292-0140



1 LIGHTING FLOOR PLAN - OVERALL
SCALE: 1/4"=1'-0"

GENERAL NOTES: LIGHTING

- ALL EMERGENCY LIGHTS (EX1, EM, E1) SHALL BE INSTALLED BY A LICENSED ELECTRICAL CONTRACTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.

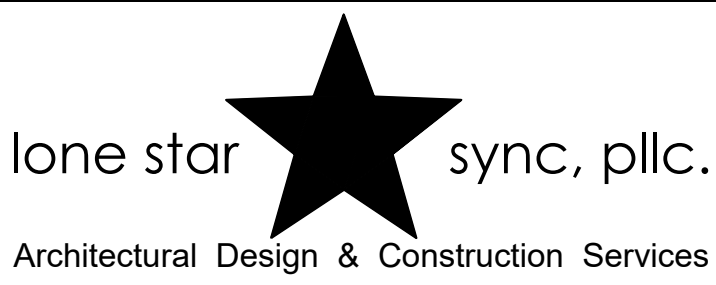
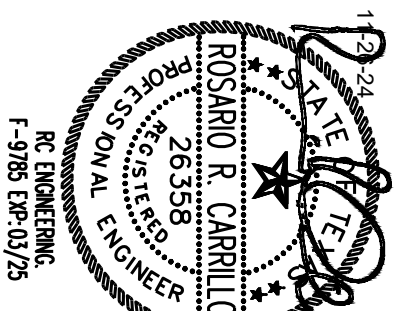
LIGHTING CONTROL LEGEND

SYMBOL DESCRIPTION
 LUTRDN WS-DPSAW-VH SWITCH OCCUPANCY SENSOR (600W MAX)

LIGHTING FUNCTIONAL TESTING/COMMISSIONING PLAN

THE CONTRACTOR SHALL COMPLETE THE TASK BELOW TO COMMISSION THE LIGHTING CONTROL SYSTEM AND SUBMIT WRITTEN DOCUMENTATION DETAILING THE TASK BELOW FOR EACH TASK. TEST THE DATE PERFORMED, PERSON COMPLETING THE TASK, THE INITIAL SETTING/CONDITION, ACTION PERFORMED, AND FINAL SETTING CONDITION. SUBMIT DOCUMENTATION AT OR BEFORE SUBSTANTIAL COMPLETION TO FACILITATE OBTAINING THE CERTIFICATE OF OCCUPANCY.

- ENSURE ALL LIGHTING FIXTURES HAVE LAMPS INSTALLED AND ARE FUNCTIONAL.
- TEST ALL EXIT SIGNS, EMERGENCY LIGHTING FIXTURES, AND EMERGENCY BALLASTS FURNISHED INTEGRAL TO FIXTURES.
- ENSURE ALL OCCUPANCY SENSORS HAVE BEEN INSTALLED AND ARE OPERATIONAL.
- OPERATIONAL TEST EACH WALLBOX AND SCENE CONTROLLERS ARE INSTALLED AND ARE OPERATIONAL.
- TEST EACH INDIVIDUAL DEVICE FOR OCCUPANCY SENSOR TYPES: OS1, OS2, OS3 AND OS4.
- TEST LOG OF DEVICES FOR OCCUPANCY SENSOR TYPES: WALLBOX TYPE WSD-PPT.
- VERIFY THE FOLLOWING:
 7.1 SENSORS HAVE BEEN LOCATED AND AIMED PER THE MANUFACTURERS RECOMMENDATIONS.
 7.2 STATUS INDICATORS ON DEVICES ARE OPERATIONAL AND CORRECT.
 7.3 DEVICES CONTROL LIGHTING FIXTURES AS INDICATED ON DRAWINGS.
 7.4 TIME DELAYS HAVE BEEN SET AS INDICATED ON THE DRAWINGS.
 7.5 MOVEMENT IN ADJACENT AREAS AND /OR CYCLING OF HVAC SYSTEM DOES NOT FALSE TRIGGER SENSORS.



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ELECTRICAL LIGHTING

SHEET HISTORY		
MARK	DATE	DESCRIPTION
1	11/11/24	PRELIMINARY DESIGN
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	02/05/25	REVISED TAX OFFICE

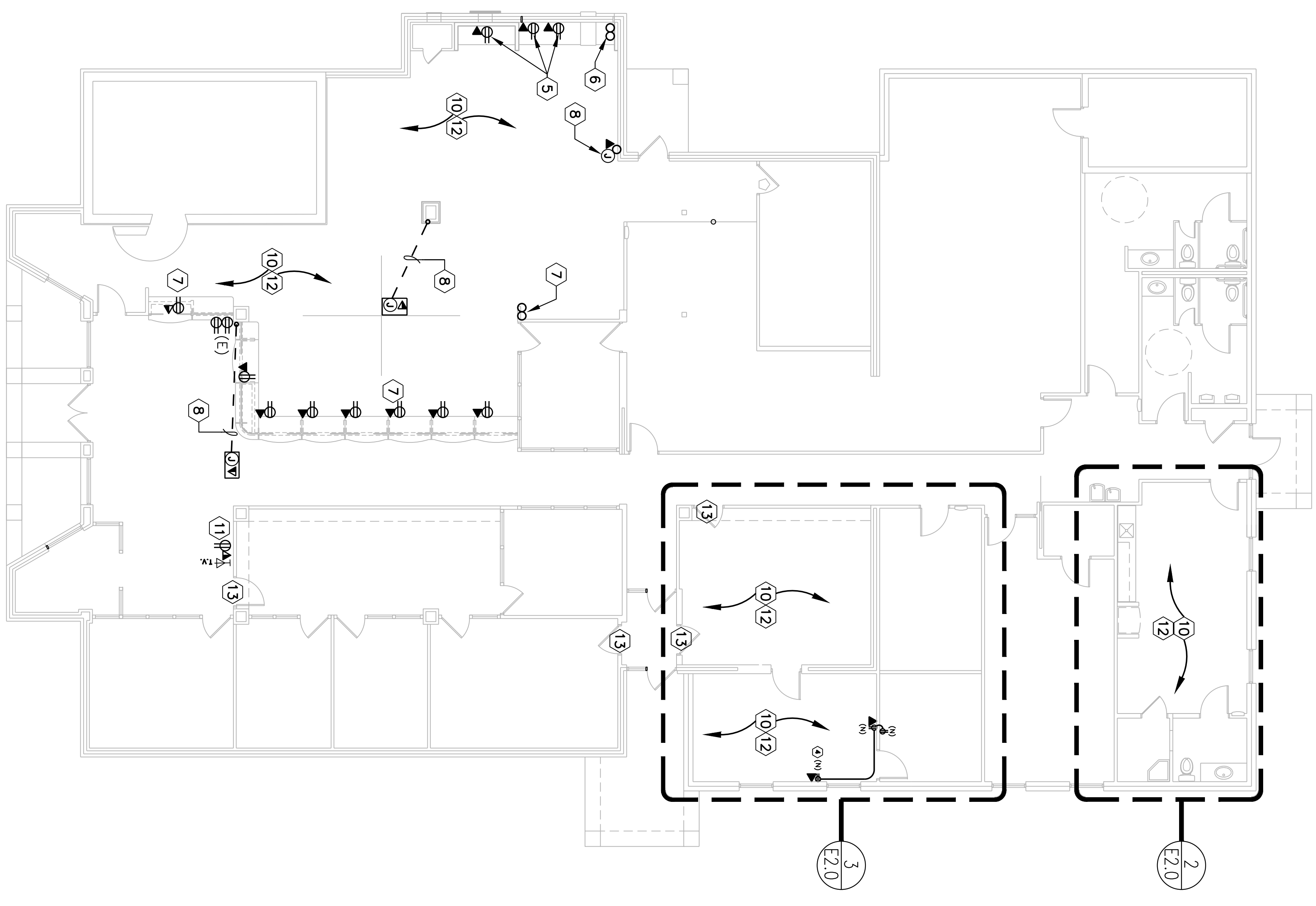
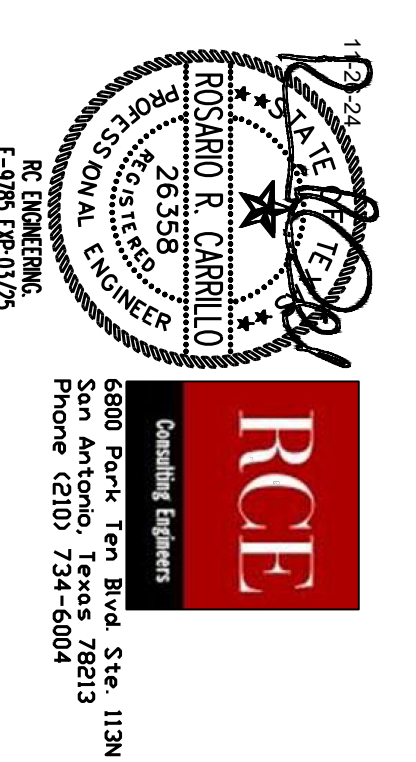
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 CHECKED BY: RJC

E1.0

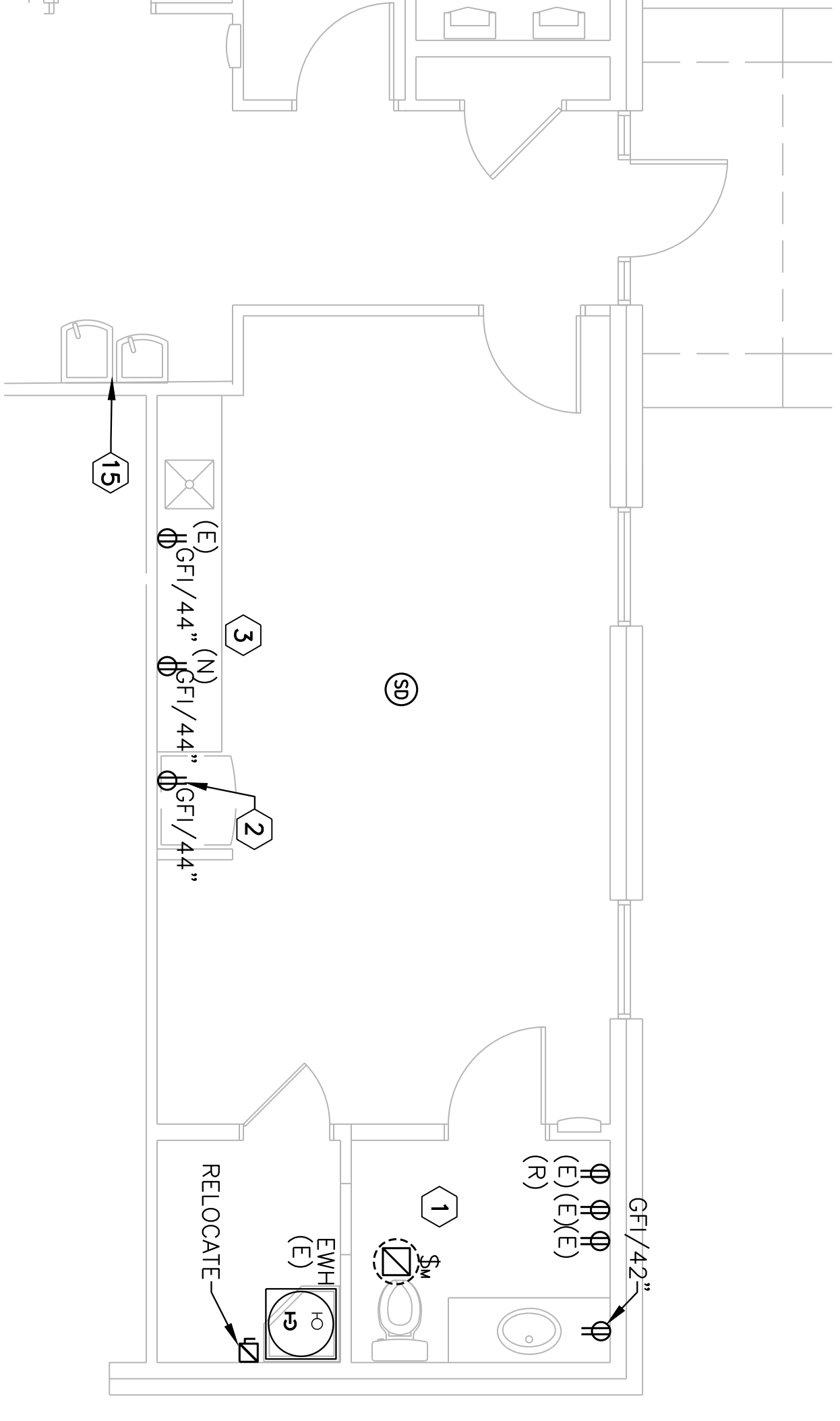
ELECTRICAL KEYED NOTES:

- 1 ELECTRICAL WORK REQUIRED FOR THE NEW STAFF RESTROOM.
A. THE EXISTING CIRCUIT (R) FOR REFRIGERATOR IN THIS AREA SHALL BE RE-ROUTED TO NEW REFRIGERATOR LOCATION IN THE BREAK ROOM.
B. THE CIRCUIT FOR THE SECOND (E) RECEPTACLE THIS AREA SHALL BE RE-LOCATED AND USED FOR THE (N) GFI RECEPTACLE AND THE (N) EXHAUST FAN AT THE LAVATORY.
C. THE EXISTING LIGHTING CIRCUIT THIS AREA SHALL BE USED FOR THE NEW LIGHT
D. EXHAUST POWER SWITCHING SHALL BE INTERLOCKED WITH THE LIGHTING SWITCH.
- 2 NEW RECEPTACLE FOR THE NEW REFRIGERATOR. SEE 1.A ABOVE.
- 3 RAISE (E) RECEPTACLE TO ABOVE-THE-COUNTER AND PROVIDE A GFI RATED RECEPTACLE AS SHOWN. PROVIDE A (N) GFI RECEPTACLE ABOVE THE COUNTER FOR A MICRO-WAVE USING THE EXISTING MICRO-WAVE CIRCUIT COMING FROM THE SUB-PANEL IN THE ELECTRICAL ROOM.
- 4 EXISTING RECEPTACLE RELOCATED FROM THE DEMISED WALL THIS AREA.
- 5 NEW RECEPTACLES ABOVE COUNTER. TO BE CIRCUITED FROM EXISTING QUAD RECEPTACLES LOCATED UNDER THIS COUNTER.
- 6 EXISTING CONDUITS (TWO) TO BE RE-RELOCATED TO CORNER TO BE IN NEW WALL. REFER TO ARCHITECTURAL PLAN SHOWING NEW WALL.
- 7 RECEPTACLES/CIRCUITS AND DATA OUTLETS BELOW THE OLD LOBBY TELLER COUNTER THAT WERE REMOVED SHALL BE RELOCATED TO BELOW THE NEW WALK-UP TELLERS COUNTER.
- 8 PROVIDE TWO 20A/1P CIRCUITS AND VOICE/DATA LINES TO FLOOR-BOX ON THE FLOOR FOR THE PRE-WIRED, FOUR-OFFICE DESK STATION/PARTITION.
A. A TOTAL OF TWO NEW CIRCUITS. 16 DATA LINES WILL BE NEEDED FOR EACH STATION. EXTEND THE CIRCUITS TO THE SUB-PANEL IN THE ELECTRICAL ROOM AND PROVIDE A 20A/1P CIRCUIT BREAKER FOR EACH CIRCUIT IN THE EMPTY SPACES IN THE PANEL.
B. COORDINATE WITH THE OWNER AND PATRICIAN PROVIDER/INSTALLER ON THE EXACT LOCATION OF THE FLOOR-BOX AND FINAL ELECTRICAL CONNECTIONS TO RECEPTACLES AND DATA OUTLETS ON THE PARTITIONS.
C. SAW-CUT CONCRETE FLOOR DOWN TO ABOVE RE-BAR LEVEL TO ACCOMMODATE CONDUITS FOR CIRCUITS AND FOR VOICE/DATA LINES. COORDINATE THIS WORK WITH THE OWNER TO MINIMIZE THE SAW-CUTTING.
D. BACKFILL AND COVER CONDUITS WITH CONCRETE AND FINISH TO MATCH EXISTING FLOOR SURFACE.
- 9 EXTEND THIS CIRCUIT TO THE SUB-PANEL IN THE ELECTRICAL ROOM AND PROVIDE A 20A/1P CIRCUIT BREAKER IN ONE OF THE EMPTY SPACES IN THE PANEL.
- 10 WHERE THE CEILING GRID IS TO BE REPLACED, THE CONTRACTOR SHALL REMOVE THE EXISTING A/C DIFFUSERS AND RETURN AIR GRILLES DURING EXISTING CEILING DEMOLITION AND RE-INSTALL NEW SUPPLY DIFFUSERS AND RETURN AIR GRILLES IN THEIR RESPECTIVE LOCATION AS THE NEW 2' X 2' CEILING GRID SYSTEM IS INSTALLED. THE SUPPLY DIFFUSER GRILLES AND RETURN AIR GRILLES SHALL BE 2' X 2' AND FIT THE NEW CEILING GRID SYSTEM.
- 11 PROVIDE AND INSTALL A 120V, 20A RECEPTACLE AND A DATA OUTLET FOR A T.V. CENTER @ +82" AFF.
- 12 (E) WALL RECEPTACLES AND LIGHT SWITCHES IN THESE AREA SHALL BE ADJUSTED IN HEIGHT TO MEET ADA REQUIREMENTS. SPACING CONDUCTORS FROM (E) DEVICE LOCATION TO THE NEW LOCATION IS ACCEPTABLE TO MEET THIS REQUIREMENT. THE EXISTING J-BOX WITH THE SLICE SHALL BE COVERED WITH A WATCHING COVER PLATE. COORDINATE THIS WORK WITH THE OWNER.
- 13 PROVIDE ELECTRICAL CONDUITS AND J-BOXES FOR ELECTRIC DOOR LOCK SYSTEM FOR DOOR AS NOTED ON DETAIL 6, SHEET E3.0.
- 14 WHERE EMPTY CONDUITS ARE INSTALLED FOR OTHER TRADES, PROVIDE A PULL STRING IN THE EMPTY CONDUITS.
- 15 NEW ADA WATER COOLER. EXISTING ELECTRICAL TO REMAIN.

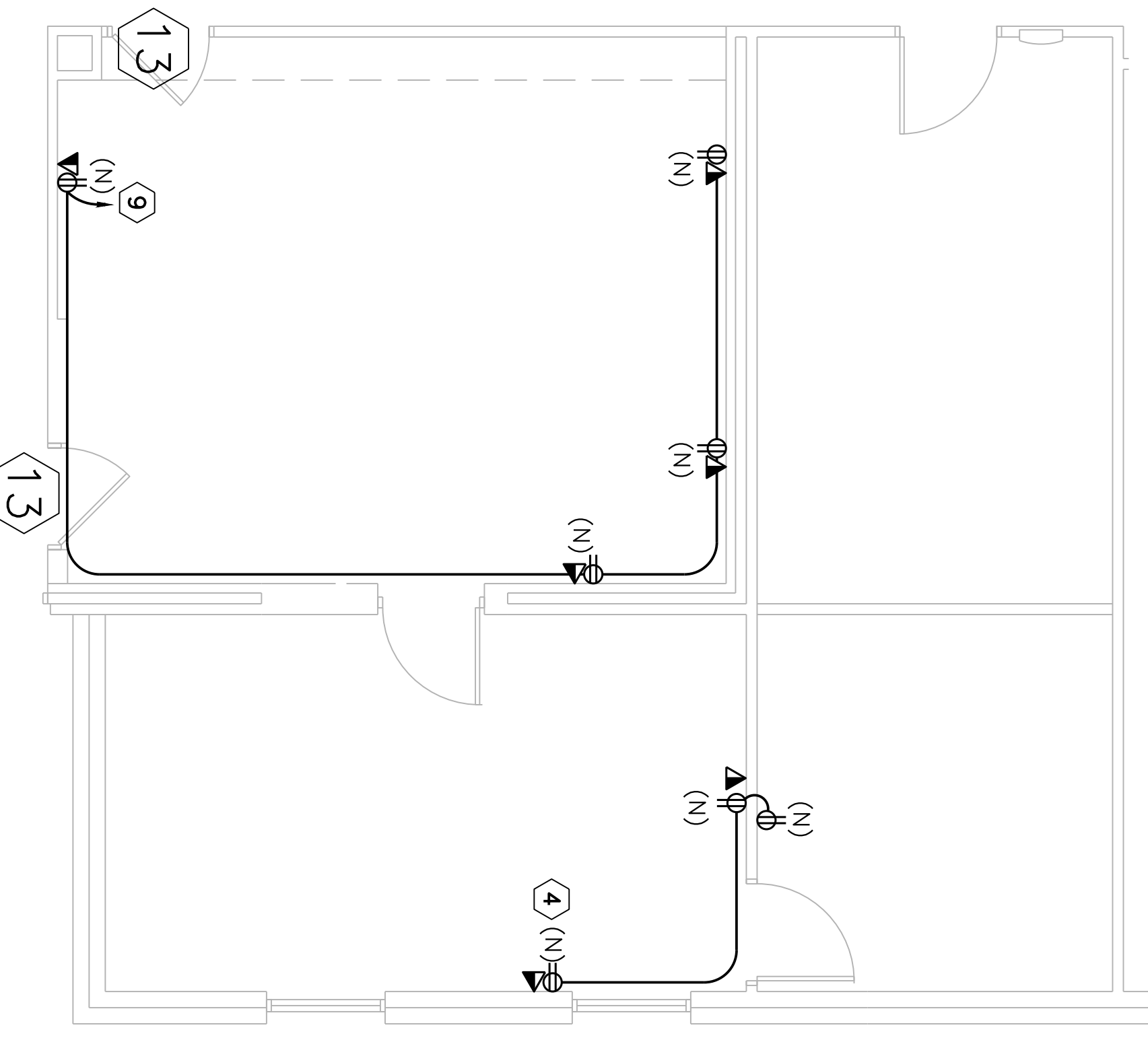
ELECTRICAL POWER GENERAL NOTES:
TOTAL ELECTRICAL LOAD ADDED:
A. RECEPTACLES 2.9KVA
B. EXHAUST FAN 0.5KVA
C. TOTAL 3.4KVA
EXISTING SYSTEM TO REMAIN.



1 ELECTRICAL FLOOR PLAN - OVERALL
SCALE: 1/4"=1'-0"



2 ELECTRICAL FLOOR PLAN - POWER
SCALE: 1/4"=1'-0"



3 ELECTRICAL FLOOR PLAN - POWER
SCALE: 1/4"=1'-0"

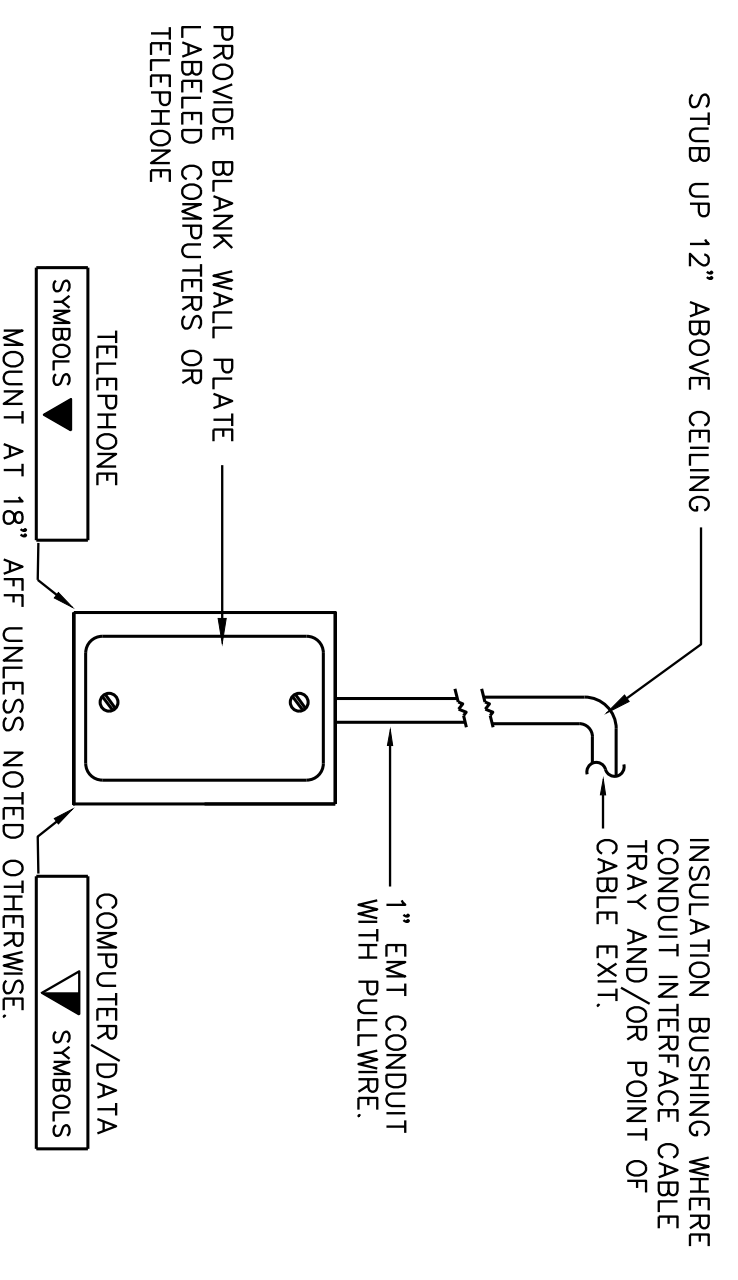
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ELECTRICAL POWER

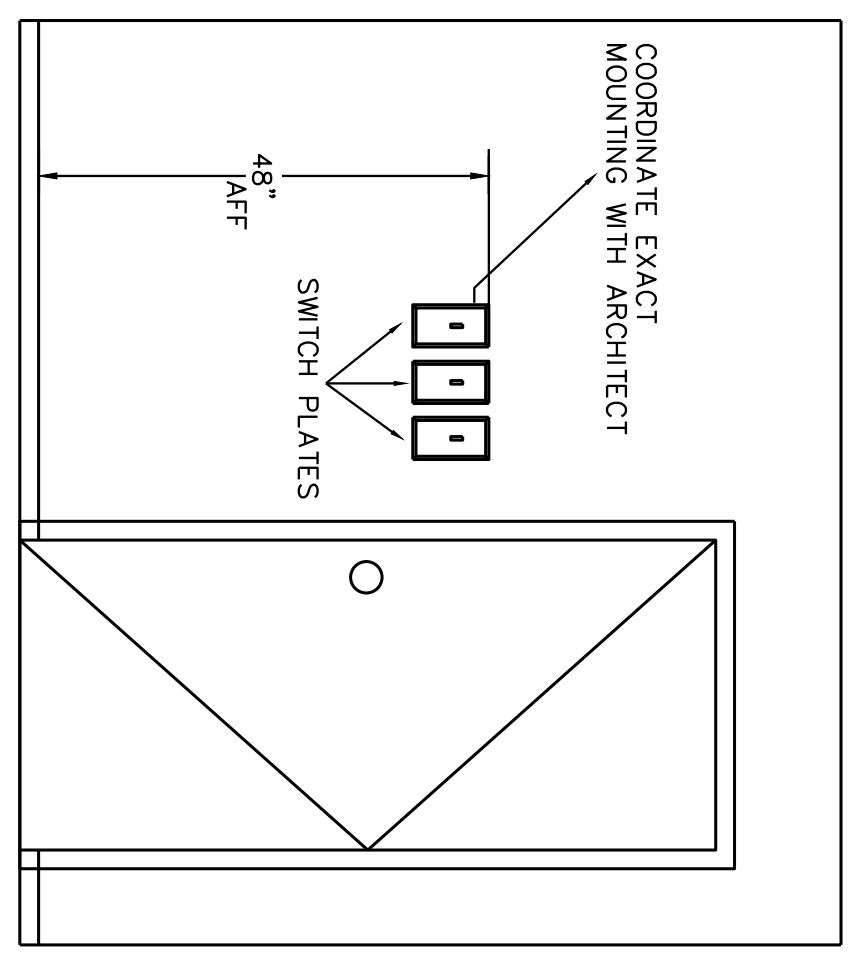
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SHEET HISTORY		
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02/05/25		REVISED TAX OFFICE

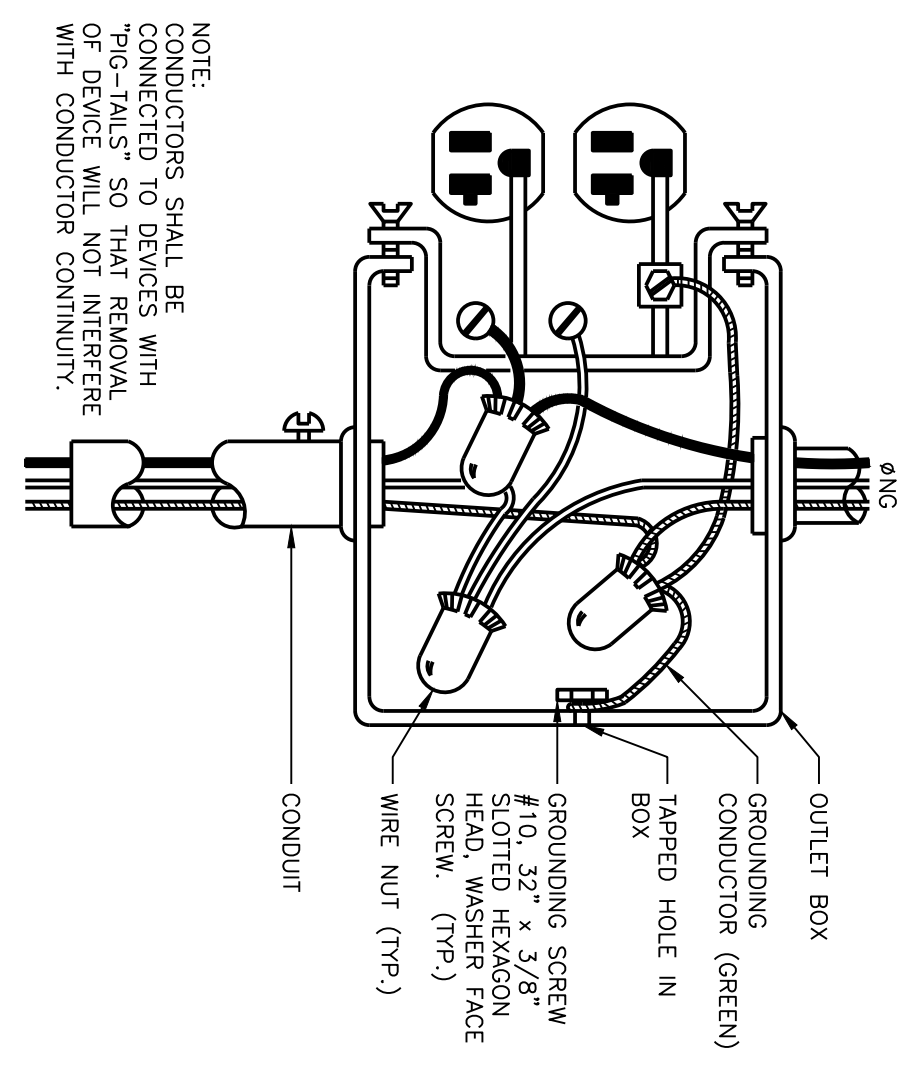
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CHECKED BY: RIG
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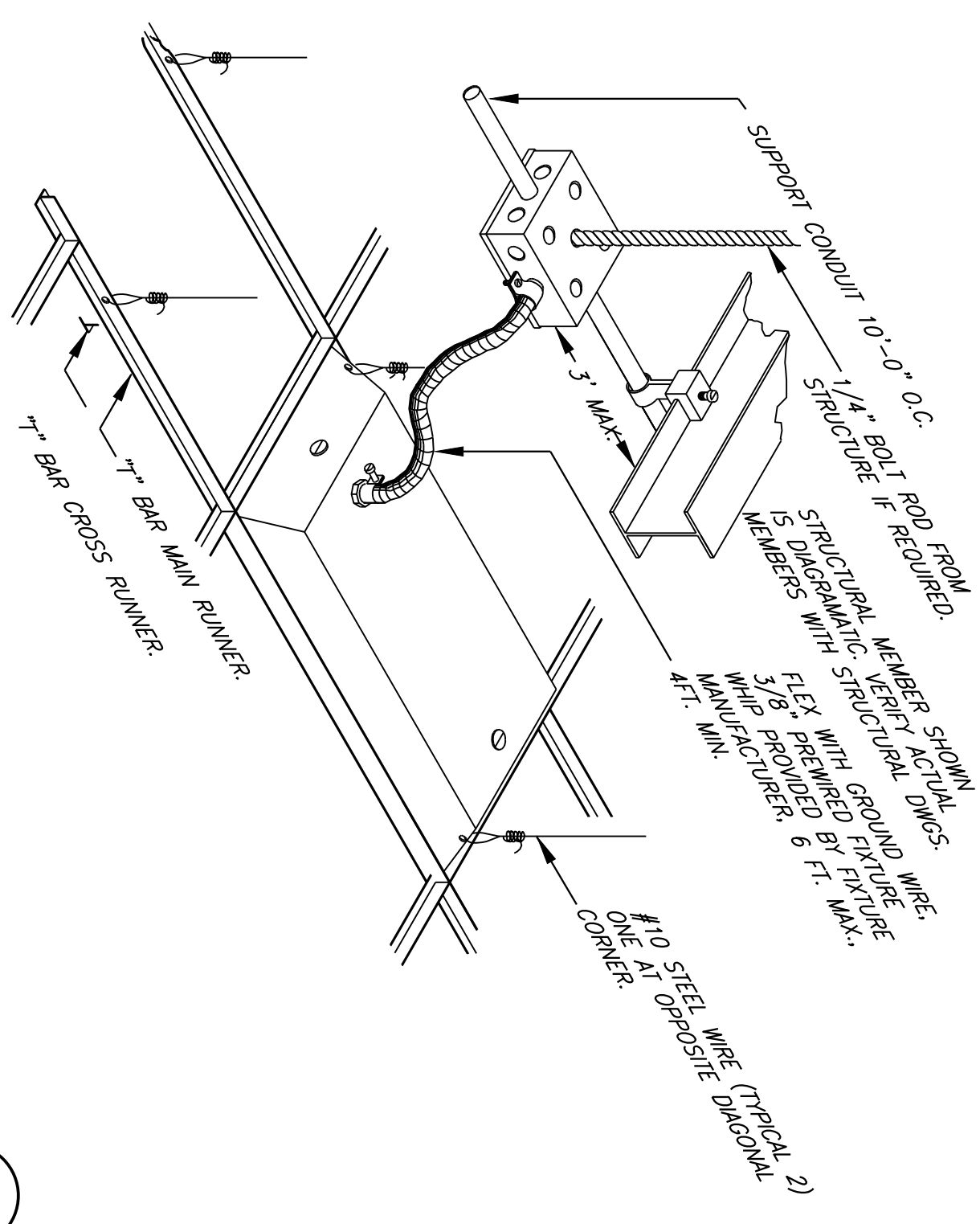
1 TELEPHONE/COMPUTER DETAIL
SCALE: NONE



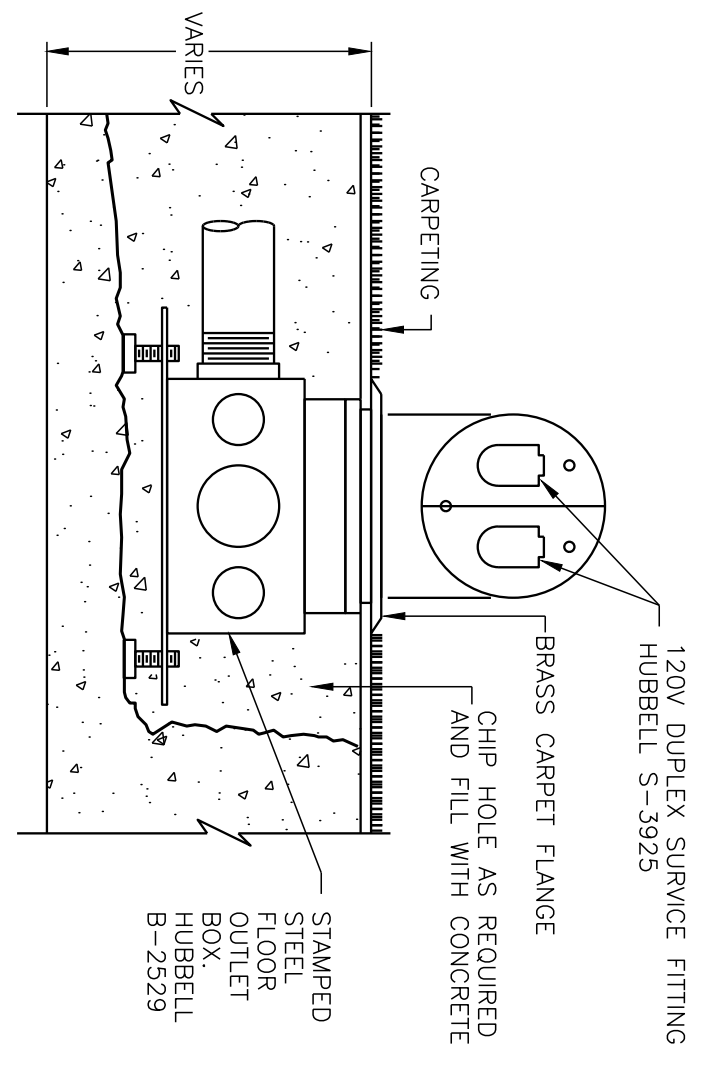
2 SWITCH PLATE LOCATION DETAIL
SCALE: NONE



3 RECEPTACLE WIRING DETAIL
NOT TO SCALE

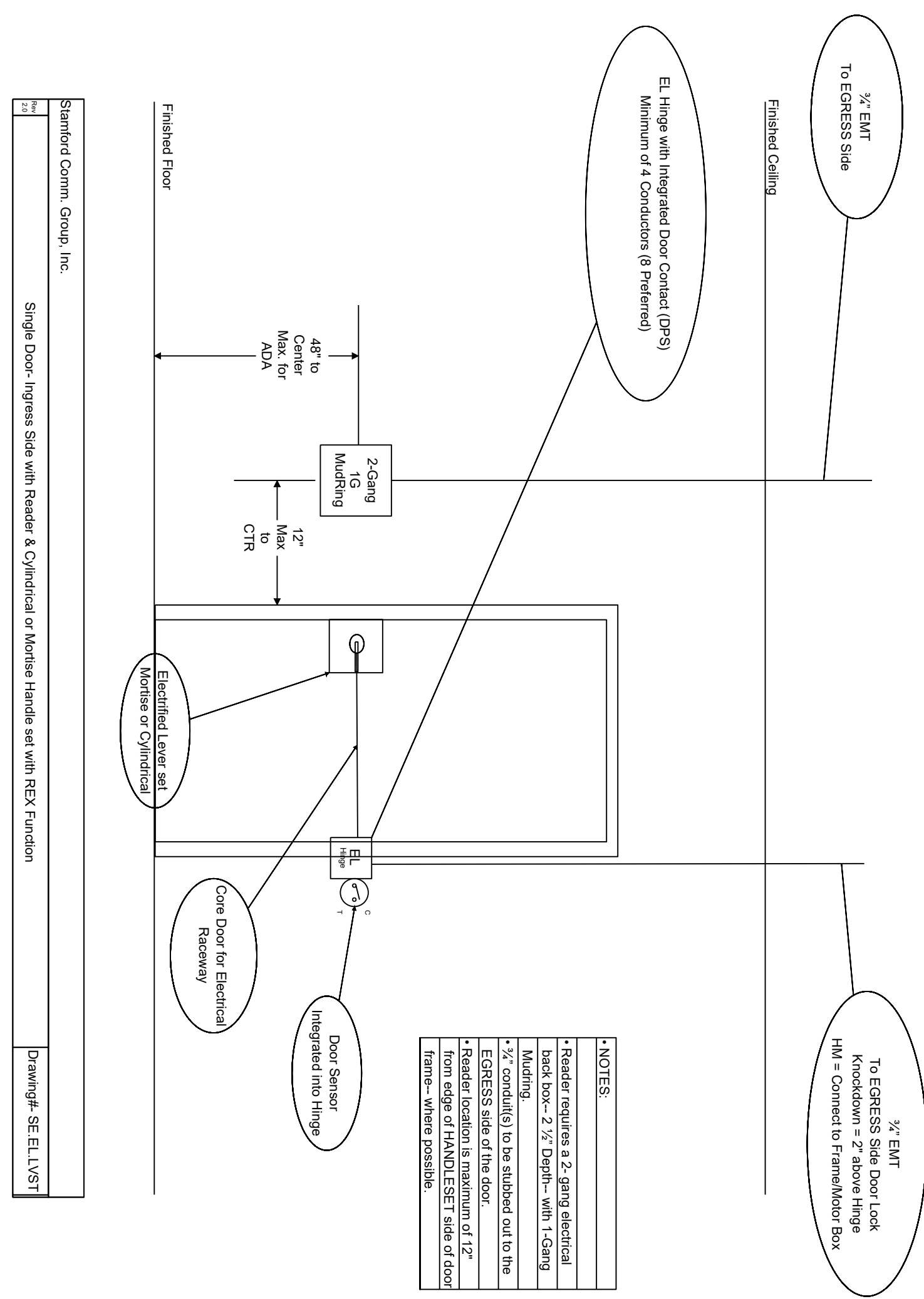


4 LAY-IN FIXTURE DETAILS
SCALE: N.T.S.

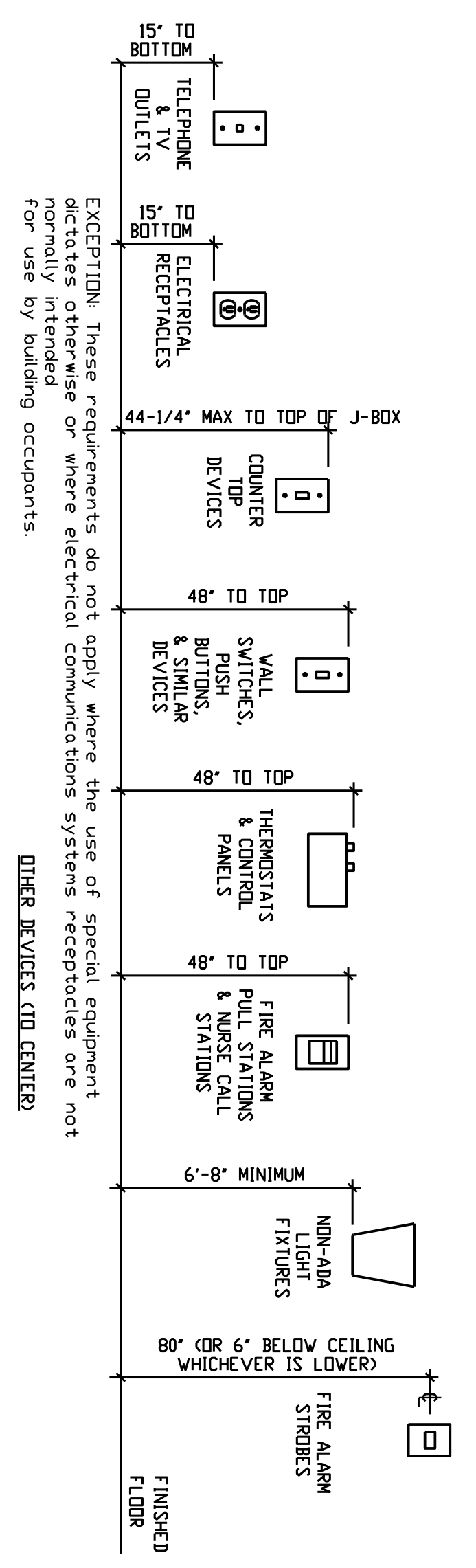


5 FLOOR OUTLET, FLUSH MOUNT
SCALE: NONE

(N)	=	NEW
(E)	=	EXISTING
(F)	=	FUTURE
(R)	=	REFRIGERATOR
UCP	=	UNDERGROUND POWER
MB	=	METER BANK
(SD)	=	SMOKE DETECTOR
⬤	=	DATA
⊕	=	DUPLEX RECEPTACLE
⊘	=	TAMPER PROOF EXHAUST FAN
⊞	=	NON-FUSED DISCONNECT

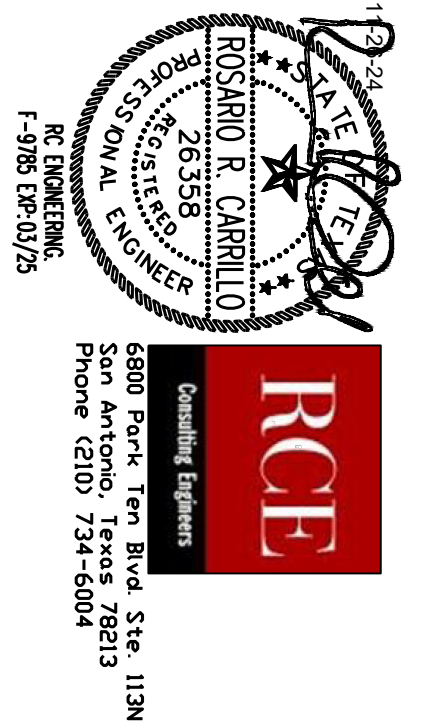


6 ELECTRIC DOOR DETAIL
SCALE: NONE



Height of devices

ITEM	MOUNTING HEIGHT ABOVE FINISHED FLOOR
REFRIGERATOR RECEPTACLE	36"
WASHER AND DRYER	36"
MICROWAVE (QMD)	78"
RANGE HOOD	78"
RANGE	8"
DISHWASHER	12"
DISPENSER	12"
SURROUND SOUND BOXES	18"



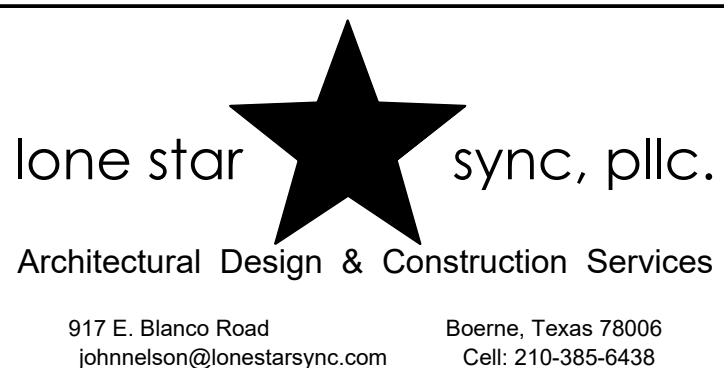
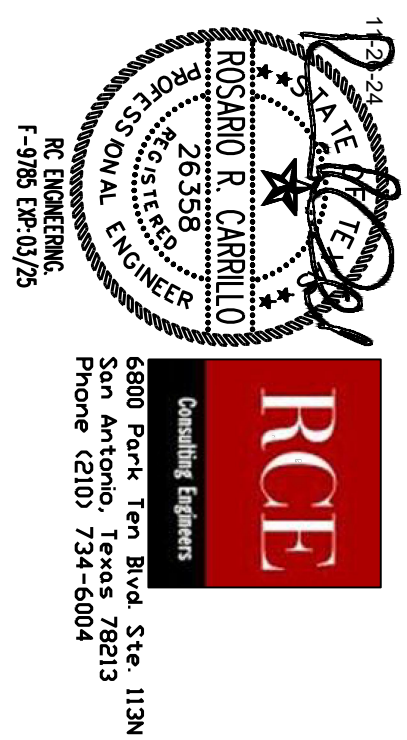
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ELECTRICAL & PLUMBING DETAILS

NEW MEDINA COUNTY TAX OFFICES
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CHECKED BY: RRC
E3.0

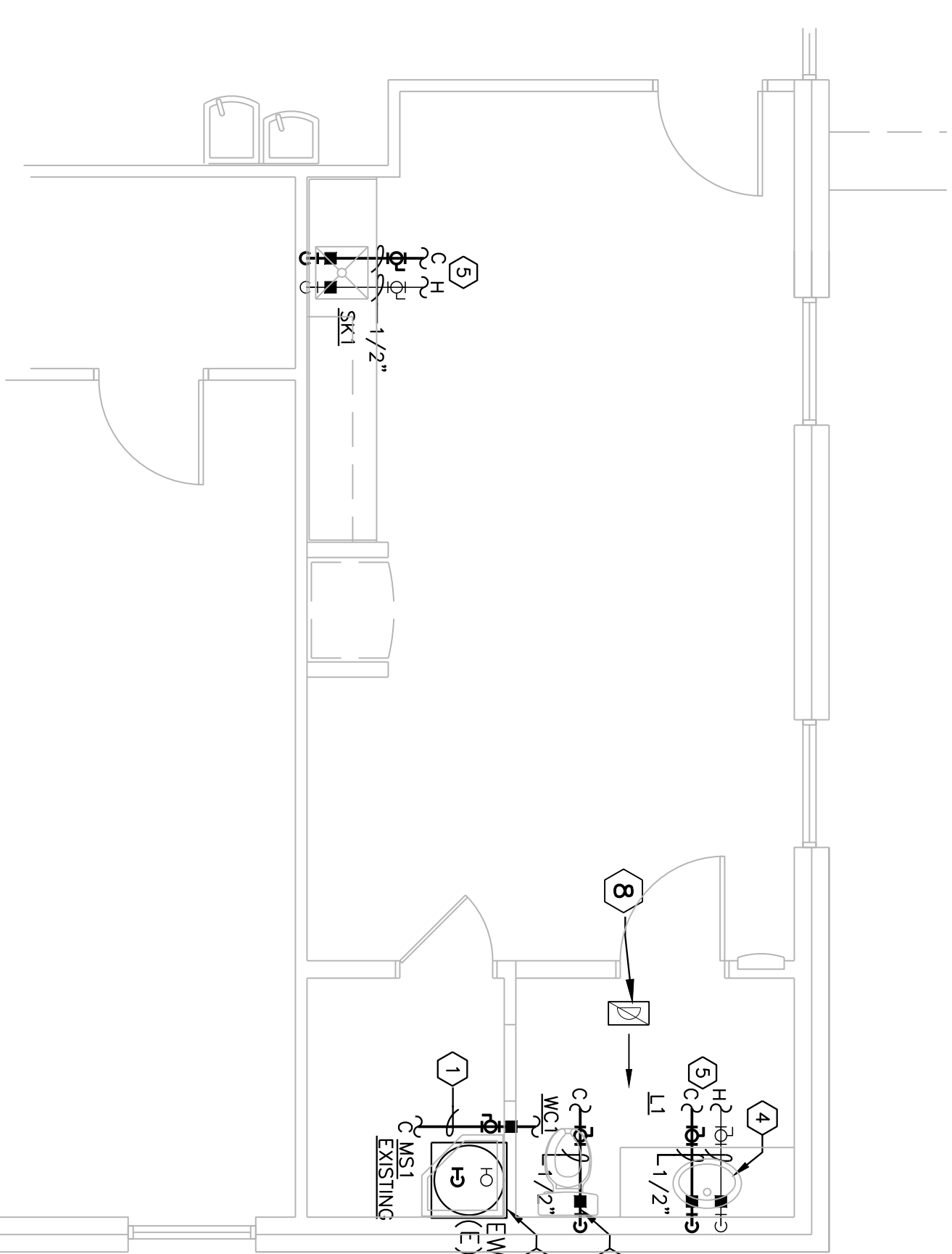


PLUMBING GENERAL NOTES:

ALL ITEMS IN THE PLUMBING SCHEDULE SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR UNLESS DESIGNATED OTHERWISE. COORDINATE THE ROUGH-IN OF SERVICES FOR/AND FINAL CONNECTION OF EQUIPMENT ITEMS WITH THE GENERAL CONTRACTOR/ARCHITECT/OWNER.

1. ALL WATER PIPING SHALL BE FIBERGLASS INSULATED WITH MINIMUM THICKNESS OF 1".

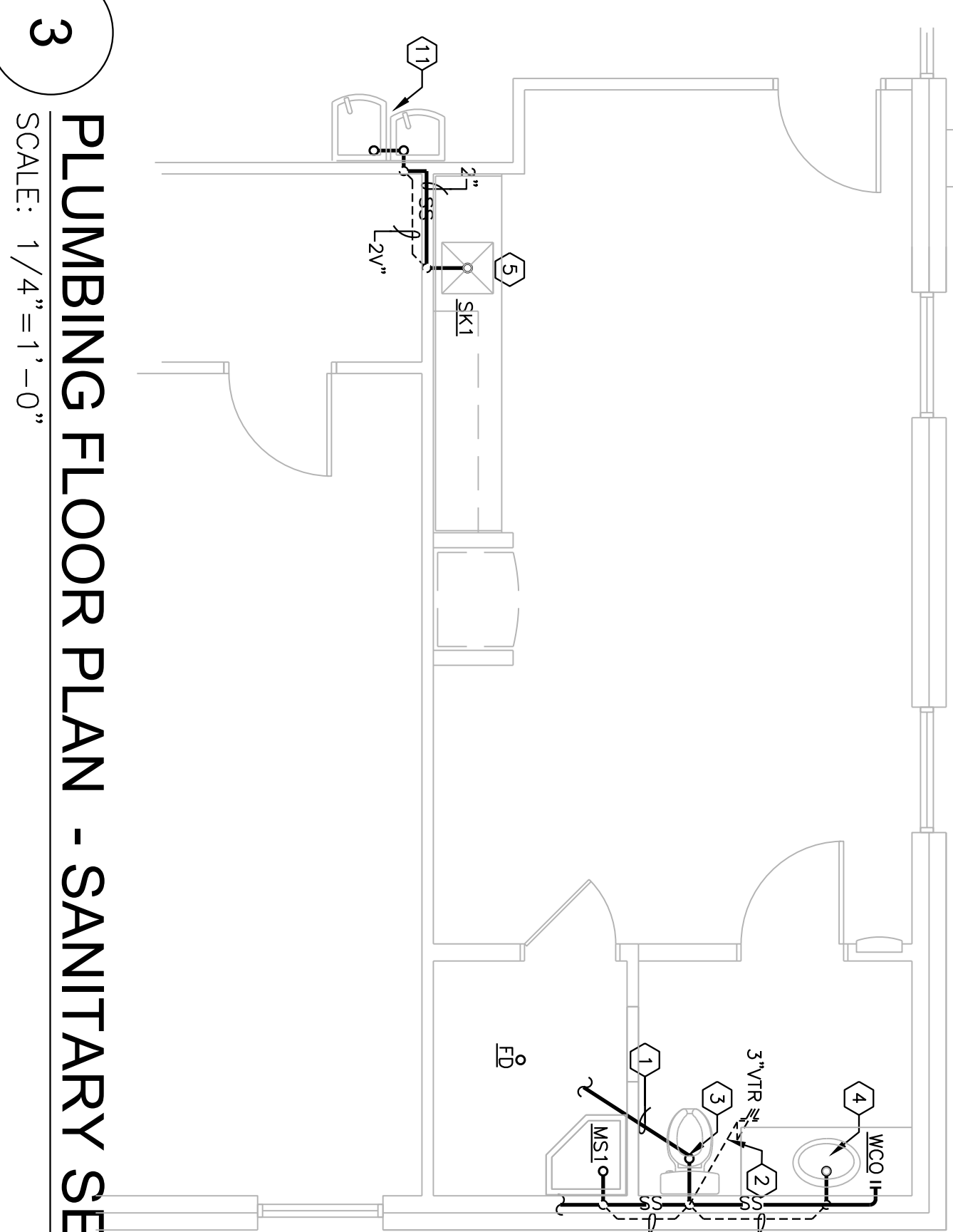
2. VENTS RISERS TO BE STRAPPED TO WALL STRUCTURE.



2 PLUMBING FLOOR PLAN - DOMESTIC WATER
SCALE: 1/4"=1'-0"

PLUMBING KEYED NOTES:

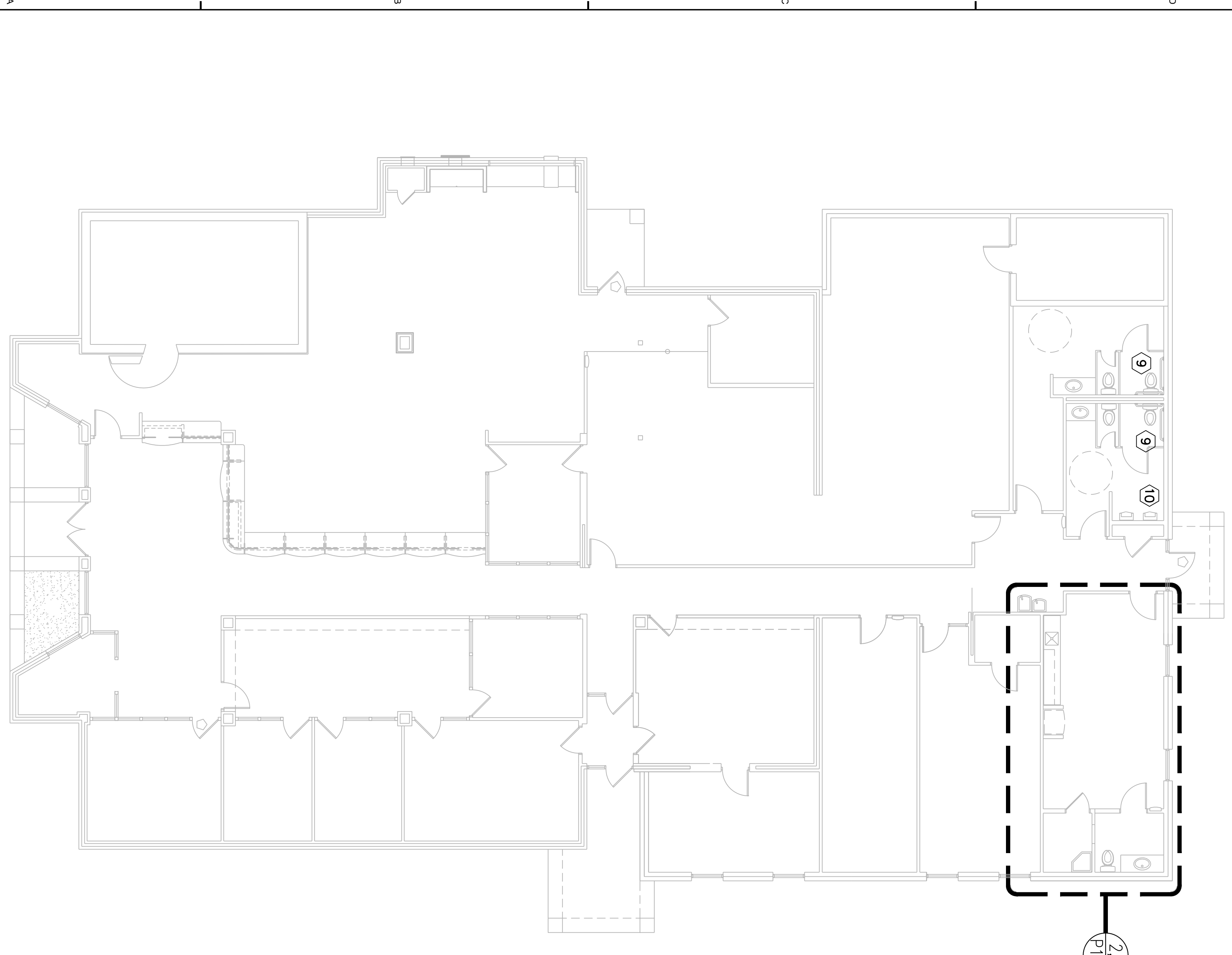
- ① PREPARATION WORK FOR THE NEW STAFF REST ROOM INSTALLATION OF A (N) WC1.
- A. THE CONTRACTOR SHALL SAW-CUT CONCRETE SLAB, WITHOUT CUTTING THE CONCRETE RE-BAR, TO EXPOSE EXISTING SANITARY SEWER LINE CONNECTING TO EXISTING JANITORIAL SINK TO SERVICE THE (N) WC1 AND SINK.
- B. THE CONTRACTOR SHALL VERIFY THAT THE (E) SEWER LINE TO THE (E) JANITORIAL SINK IS A MINIMUM 3" LINE.
- C. THE CONTRACTOR SHALL MAKE THE COMPLETE UNDERFLOOR WASTE LINES INSTALLATION INCLUDING THE LINE FOR THE 3" VIR IN PREPARATION FOR THE NEW WC1. ROUTE AND CONNECT THE NEW SANITARY SERVICE LINE FOR THE (N) WC1.
- D. UPON FINAL UNDER FLOOR (N) WASTE LINES INSTALLATION AND FINAL APPROVAL BY CITY INSPECTOR, THE CONTRACTOR SHALL BACKFILL THE OPENING WITH A 4" COVER OF 2000 PSI CONCRETE AND FINISH IT TO MATCH THE EXISTING FLOOR.



3 PLUMBING FLOOR PLAN - SANITARY SEWER
SCALE: 1/4"=1'-0"

- ② SAW-CUT TO WALL FRR (N) 3" VENT-THRU - WALL FOR (N) WC1. REFER TO I.C. ABOVE.
- ③ NEW WATER CLOSET. REFER TO PLUMBING FIXTURE SCHEDULE. ALL NEW WASTE, VENT PIPING AND WATER PIPING SHALL BE PROVIDED AND INSTALLED AND CONNECTED BY THE CONTRACTOR TO RENDOR A COMPLETE WORKING SYSTEM.
- ④ NEW LAVATORY. REFER TO PLUMBING FIXTURE SCHEDULE. ALL NEW WASTE, VENT PIPING AND COLD AND HOT WATER PIPING SHALL BE PROVIDED AND INSTALLED AND CONNECTED BY THE CONTRACTOR TO RENDOR A COMPLETE WORKING SYSTEM.
- ⑤ DROP 1/2" COLD AND HOT WATER LINES FORM EXISTING LINES ABOVE THE CEILING TO (N) L1 AND SK1 AND MAKE ALL CONNECTIONS.
- ⑥ DROP 1/2" COLD WATER LINE FORM EXISTING LINE ABOVE THE CEILING TO (N) WC1 AND MAKE ALL CONNECTIONS.
- ⑦ RELOCATE EXISTING WATER HEATER TO THE RACK ABOVE THE EXISTING JANITOR SINK AS PROVIDE BY ARCHITECT. RAISE EXISTING ELECTRICAL POWER RECEPTACLE FROM ITS PRESENT LOCATION TO 12 INCHES BELOW THE CEILING.
- ⑧ THE EXISTING AIR SUPPLY DIFFUSER SHALL REMAIN. THE CONTRACTOR SHALL ADJUST THE AIR FLOW OUTPUT OF THE SUPPLY DIFFUSER TO BE 10 CFM LESS THAN THE CFM OUTPUT OF THE NEW EXHAUST FAN.
- ⑨ THE CONTRACTOR SHALL OFFSET THE HANDICAP WATER CLOSETS IN THE EXISTING WOMEN'S AND MEN'S RESTROOMS ONE INCH AWAY FROM THE OUTSIDE WALL USING AN OFFSET FLANGE TO MEET ADA REQUIREMENTS. VERIFY DIAMETER OF FLANGE.
- ⑩ THE CONTRACTOR SHALL LOWER ONE OF THE URINALS IN THE MEN'S ROOM TO A MAXIMUM OF 17 INCHES TO THE TOP OF THE RIM LIP TO MEET ADA REQUIREMENTS.
- ⑪ PROVIDE WALL MOUNTED BI-LEVEL ADA WATER COOLER, ELKAY MODEL #LZST16LC

1 PLUMBING FLOOR PLAN - OVERALL
SCALE: 1/4"=1'-0"



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PLUMBING SEWER & WATER

P1.0

DRAWN BY: MAC
CHECKED BY: RRC

MISCELLANEOUS PLUMBING SCHEDULE

<p>1 SCALE: NONE</p> <p>VENT THROUGH ROOF DETAIL</p>	<p>2 SCALE: NONE</p> <p>WATER HEATER DETAIL</p>
<p>3 SCALE: NONE</p> <p>PLUMBING RISER DIAGRAM</p>	<p>4 SCALE: NONE</p> <p>PLUMBING RISER DIAGRAM</p>

PLUMBING LEGEND AND ABBREVIATIONS

SS	SANITARY SEWER/WASTE PIPING	C.W.	COLD WATER
	VENT/REVENT PIPING	H.W.	HOT WATER
	BALL VALVE	→○	PIPE DROP
	COLD WATER SUPPLY PIPING	○→	PIPE RISE
	HOT WATER SUPPLY PIPING	○→	NEW PIPING CONNECTION
	CLEANOUT	▽	PLUMBING KEYED NOTE
	FLOOR DRAIN	○	
	HUB DRAIN	○	

PIPE MATERIAL LIST

ALL PLUMBING TO CONPLY WITH ALL LOCAL CODES AND GOVERNING JURISDICTION REQUIREMENTS.

1. WATER PIPE TO BE TYPE L COPPER WITH WROT COPPER FITTINGS USING 95/5 SOLDER CONTAINING NO LEAD. (PEX - APPROVED EQUAL)
2. VENTS AND SANITARY SEWER AND GREASE WASTE LINE TO BE SCH. 40 PVC WITH SOLVENT WELD DRAINAGE PATTERN FITTINGS.
3. UNDER FLOOR WATER WILL BE TYPE L COPPER WITH NO JOINTS UNDER SLAB IN SLEEVE. (PEX - APPROVED EQUAL)
4. ALL HOT WATER AND COLD WATER SUBJECT TO FREEZE WILL BE INSULATED.
5. GAS PIPE TO BE SCH. 40 BLACK IRON PIPE WITH SCREWED MALLEABLE IRON FITTINGS.

GENERAL PLUMBING NOTES

1. ALL WATER PIPING SHALL BE FIBERGLASS INSULATED WITH MINIMUM THICKNESS AS PER SPECIFICATIONS. NIBBO S8855, WITH 125 LB. RATING.

2. ALL SERVICE VALVES OTHER THAN THOSE SPECIFIED SHALL BE BALL VALVES. FULL PORT SWEAT TIRE.

3. VENT RISERS TO BE STRAPPED TO WALL.

4. ALL ITEMS OF THIS SCHEDULE SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR UNLESS DESIGNATED OTHERWISE. COORDINATE THE ROUTING OF SEWERS FOR/FINAL CONNECTION OF EQUIPMENT ITEMS WITH THE GENERAL CONTRACTOR/ARCHITECT/OWNER.

5. ALL WATER PIPING SHALL BE FIBERGLASS INSULATED WITH MINIMUM THICKNESS AS PER SPECIFICATIONS. NIBBO S8855, WITH 125 LB. RATING.

6. DOMESTIC WATER PIPE, BURIED WITHIN 5 FEET OF BUILDING, BELOW GRADE. COPPER TUBING, ASTM B 88, TYPE L, SOFT ANNEALED, FITTINGS, ASTM B 16.18, CAST BRONZE. ASTM B 16.22 WROUGHT COPPER ALLOY OR ASTM B 16.26 CAST BRONZE FOR FLARED FITTINGS, JOINTS: SWEAT SOLDER OR FLARED, NO JOINTS WILL BE PERMITTED IN PRESSURE WATER PIPE BELOW SLAB ON GRADE. ALL SUCH PIPING MUST BE BROUGHT UP ABOVE FINISHED FLOOR A MINIMUM OF 12" BEFORE JOINTING. EXCEPTION MAY BE TAKEN WHEN PIPE IS FULLY ENCLOSED IN CONCRETE. RATED STEEL AND PHOTOGRAPHED BY THE ARCHITECT AND ENGINEER.

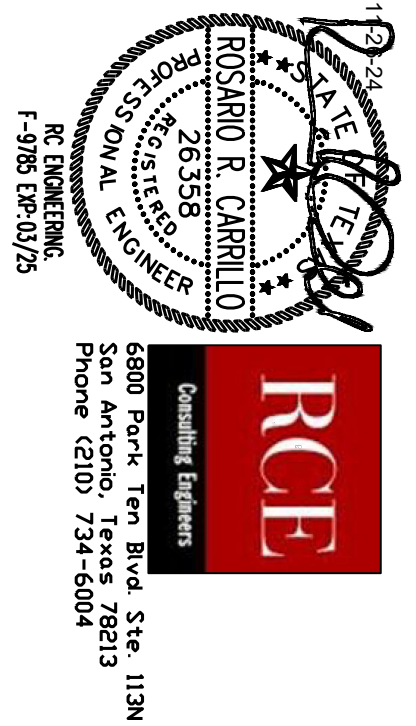
7. DOMESTIC WATER PIPING, WITHIN BUILDING, ABOVE GRADE. COPPER TUBING, ASTM B 88, TYPE L, HARD DRAWN, FITTINGS, ASTM B 16.18, CAST BRONZE OR ASTM B 16.22 WROUGHT COPPER ALLOY. JOINTS: SWEAT SOLDER OR FLARED. NO JOINTS WILL BE PERMITTED IN PRESSURE WATER PIPE BELOW SLAB ON GRADE. ALL SUCH PIPING MUST BE BROUGHT UP ABOVE FINISHED FLOOR A MINIMUM OF 12" BEFORE JOINTING. EXCEPTION MAY BE TAKEN WHEN PIPE IS FULLY ENCLOSED IN CONCRETE. RATED STEEL AND PHOTOGRAPHED BY THE ARCHITECT AND ENGINEER.

PLUMBING FIXTURE SCHEDULE

DESCRIPTION	QUANTITY	UNIT
WHITE VITREOUS CHINA, FLOOR MTD., ELONGATED FLUSH ACTION BOWL, 1.1 GALLON PER FLUSH, MOUNT AT 16 1/2" FLOOR-TO-RIM. SUPPLY: MCGUIRE'S 1/2" IPS LOOSE KEY ANGLE STOP WITH 1/2" OD FLEXIBLE RISER. SEAT: BRASS #1655C, WHITE, ELONGATED, OPEN-FRONT SEAT WITH STAINLESS STEEL SELF-SUSTAINING CHECK HINGE TUBE AND POST.		
WHITE VITREOUS CHINA, COUNTER TOP MOUNT, 4" CENTERS, MOUNT SINK AT 34" FLOOR-TO-RIM. PROVIDE AND INSTALL A WAITTS MODEL NO. LF1170 THERMOSTATIC MIXING VALVE BELOW SINK. TRIM: SYMONS METERING FAUCET S-6080-G WITH GRID STRAINER DRAIN ASSEMBLY. PROVIDE WITH 0.25 GPM MAX FLOW AERATOR.		
SUPPLY: MCGUIRE'S 1/2" IPS LOOSE KEY ANGLE STOP WITH 1/2" OD FLEXIBLE RISER. SEAT: BRASS #1655C, WHITE, ELONGATED, OPEN-FRONT SEAT WITH STAINLESS STEEL SELF-SUSTAINING CHECK HINGE TUBE AND POST.		
P-T-RAP DRAIN, PROTECTIVE ENCLOSURE UNDER SINK TO BE TRUEBRO "LAW SHIELD" NO. 2018-45-L. 22 GAUGE-TYPE 300 STAINLESS STEEL, MANULINE #10284, SINK BASKET AND STRAINER, MANULINE NO. M10356. 1 1/2" x 1 1/2" x 1 1/2" 20 GAUGE ADJUSTABLE P-T-RAP. MCGUIRE NO. 2165 ANGLE SUPPLY WITH STOPS AND RISERS. MOEN #6279 FAUCET. PROVIDE WITH 0.5 GPM MAX FLOW AERATOR. (HOT AND COLD WATER)		

PIPE MATERIAL SPECIFICATION

1. WASTE AND VENT PIPING, BURIED WITHIN 5 FEET OF BUILDING: PVC PIPE, ASTM D 1785/D 2865 SCHEDULE 40, FITTINGS: PVC, ASTM D 3311/D 2865 DRAINAGE PATTERN WITH BELL AND SPIGOT ENDS TO BE FURNISHED BY THE SAME MANUFACTURER AS PER APPROVED EQUAL.
2. WASTE AND VENT PIPING, WITHIN BUILDING, ABOVE GRADE: CAST IRON PIPE, 4" DIA., SCH. 40, FITTINGS: CAST IRON, 4" DIA., SCH. 40, NIBBO S8855, WITH 125 LB. RATING.
3. UNDER FLOOR WATER WILL BE TYPE L COPPER WITH NO JOINTS UNDER SLAB IN SLEEVE. (PEX - APPROVED EQUAL)
4. ALL HOT WATER AND COLD WATER SUBJECT TO FREEZE WILL BE INSULATED.
5. GAS PIPE TO BE SCH. 40 BLACK IRON PIPE WITH SCREWED MALLEABLE IRON FITTINGS.



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PLUMBING SCHEDULES

NEW MEDINA COUNTY TAX OFFICES
 1502 AVENUE M HONDO, TEXAS 78861

MARK	DATE	DESCRIPTION
1	11/11/24	PRELIMINARY DESIGN
2	12/17/24	PERMIT SET

SHEET HISTORY
 DRAWN BY: MAC
 CHECKED BY: RIGC
P2.0

